

EXTENT OF SUBJECT DATA LOT 1 DP 110000
LOT 1,2,3 & 4 DP 110000 AND LOT 5 DP
250000

THIS PLAN HAS BEEN PREPARED FOR THE PURPOSE OF A DEVELOPMENT APPLICATION. THE INFORMATION SHOWN HEREIN IS ONLY RELIABLE FOR THE ABOVE PURPOSE. IT SHOULD NOT THEREFORE BE USED FOR ANY OTHER PURPOSE WITHOUT VERIFICATION.

A1

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REV.	DATE	DESCRIPTION
A	20.06.2016	ISSUED FOR INFORMATION

BY
SC

DATUM: AHD SCALE: 1:40000 @ A1
(1:80000 @ A3)

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PROJECT NO:	2409
DA NO:	1
DESIGNED BY:	DAT
DRAWN BY:	SC
CHECKED BY:	DAT
DATE CREATED	04/20/16

DRAWING TITLE:		EXHIBIT 01 - SITE CONTEXT		A1			
PROJECT:		PROPOSED SUBDIVISION OF LOT 1 DP 1192553, LOTS 1, 2, 3 & 4 DP 11501758 AND LOT 5 DP 25866, OCEAN DRIVE LAKE CATHE					
CLIENT:	ST VINCENT'S FOUNDATION	DRAWING NO:	S700P Exhibits	SHEET:	01	REVISION:	A

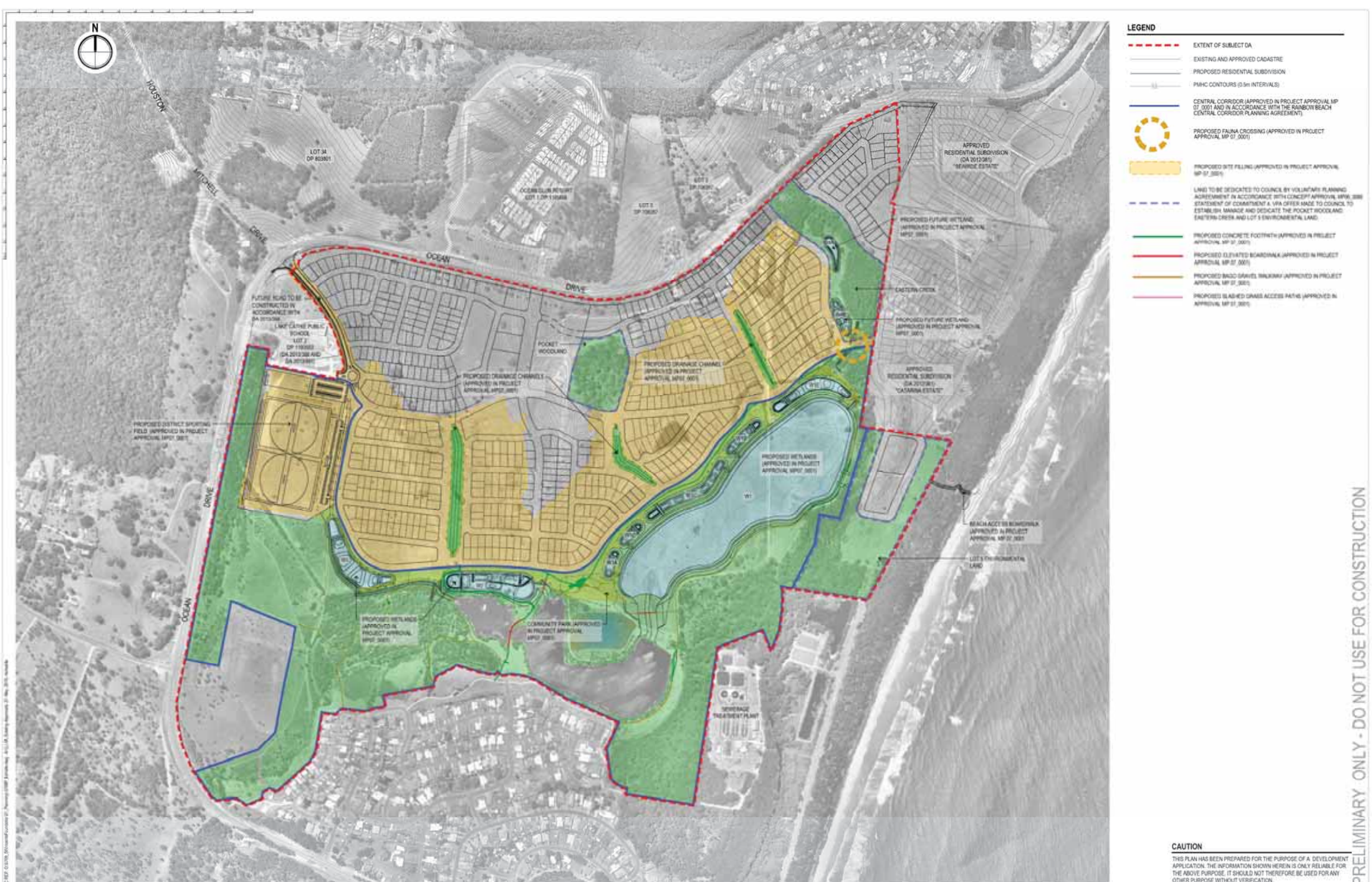


- LEGEND**
- EXTENT OF SUBJECT DA
 - EXISTING CADASTRE
 - PROPOSED RESIDENTIAL SUBDIVISION
 - PUBLIC CONTOURS (0.5m INTERVALS)
 - EXISTING AREA WITHIN LOT 1 DP 1193553 OUTSIDE OF SUBJECT DA

CAUTION
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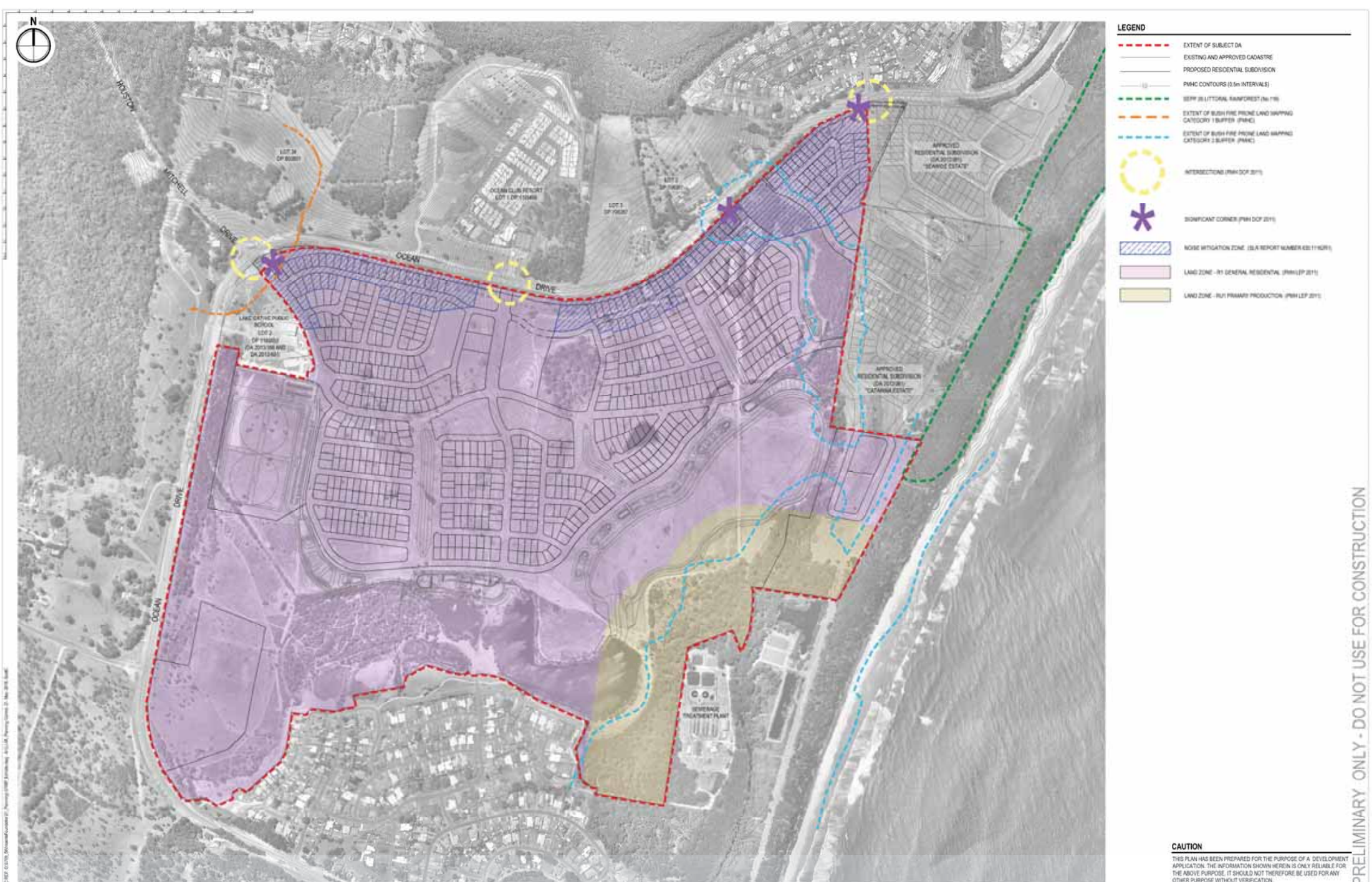
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- LEGEND**
- EXTENT OF SUBJECT DA
 - EXISTING AND APPROVED CADASTRE
 - PROPOSED RESIDENTIAL SUBDIVISION
 - PAVEMENT CONTOURS (0.5m INTERVALS)
 - CENTRAL CORRIDOR (APPROVED IN PROJECT APPROVAL MP 07/0001 AND IN ACCORDANCE WITH THE RAINBOW BEACH CENTRAL CORRIDOR PLANNING AGREEMENT)
 - PROPOSED FAUNA CROSSING (APPROVED IN PROJECT APPROVAL MP 07/0001)
 - PROPOSED SITE FILLING (APPROVED IN PROJECT APPROVAL MP 07/0001)
 - LANDS TO BE DEDICATED TO COUNCIL BY VOLUNTARY PLANNING AGREEMENT IN ACCORDANCE WITH CONCEPT APPROVAL MP06/0001 STATEMENT OF COMMITMENT A VPA OFFER MADE TO COUNCIL TO ESTABLISH, MANAGE AND DEDICATE THE POCKET WOODLAND, EASTERN CREEK AND LOT 5 ENVIRONMENTAL LANDS
 - PROPOSED CONCRETE FOOTPATH (APPROVED IN PROJECT APPROVAL MP 07/0001)
 - PROPOSED ELEVATED BOARDWALK (APPROVED IN PROJECT APPROVAL MP 07/0001)
 - PROPOSED BAGG GRAVEL WALKWAY (APPROVED IN PROJECT APPROVAL MP 07/0001)
 - PROPOSED GRAVEL DRIVE ACCESS PATHS (APPROVED IN PROJECT APPROVAL MP 07/0001)


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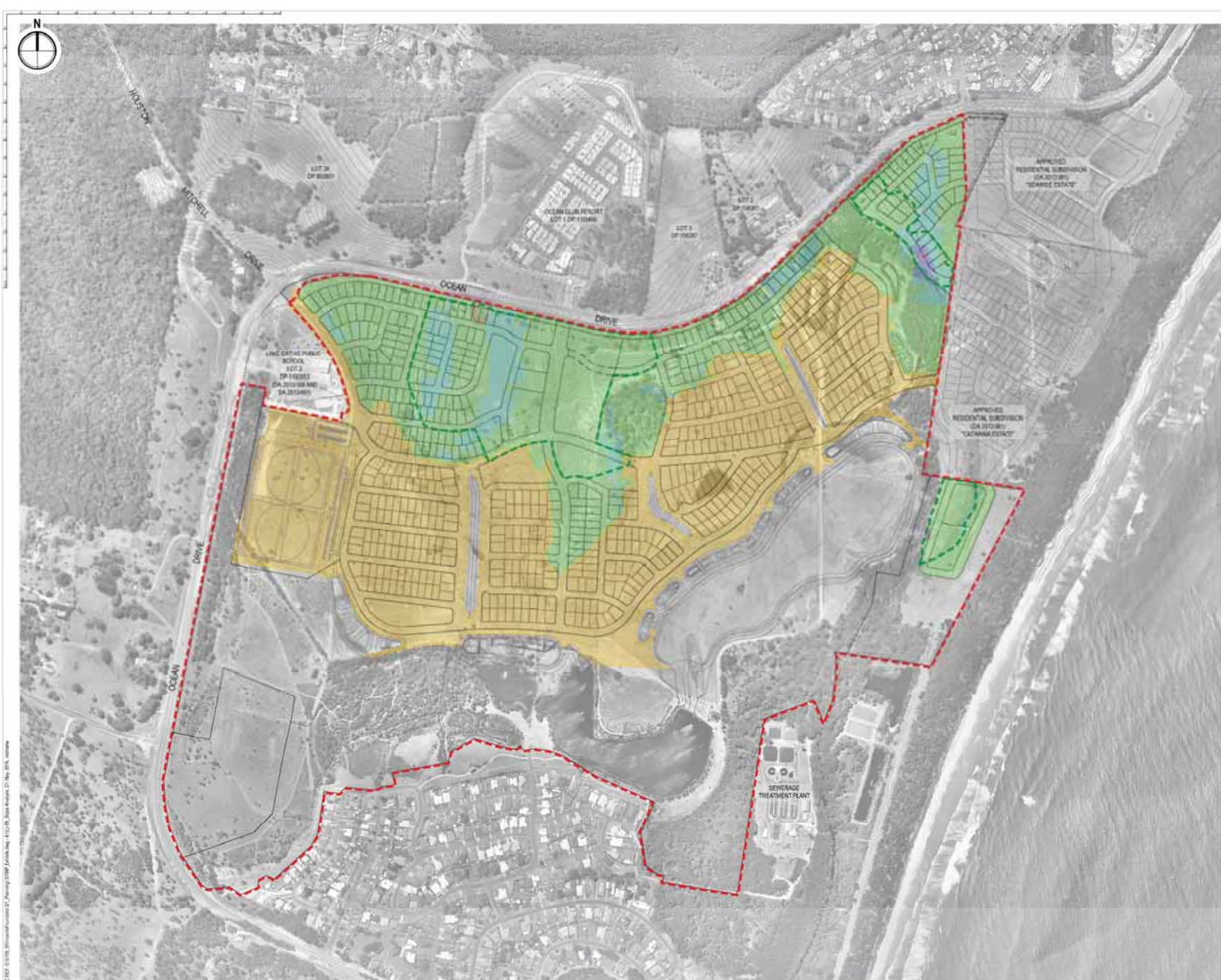


- LEGEND**
- EXTENT OF SUBJECT DA
 - EXISTING AND APPROVED CADASTRE
 - PROPOSED RESIDENTIAL SUBDIVISION
 - PMHC CONTOURS (0.5m INTERVALS)
 - BEMP 20 LITTORAL RAINFOREST (No. 116)
 - EXTENT OF BUSH FIRE PRONE LAND MAPPING CATEGORY 1 BUFFER (PMHC)
 - EXTENT OF BUSH FIRE PRONE LAND MAPPING CATEGORY 2 BUFFER (PMHC)
 - INTERSECTIONS (PMHC DCP 2011)
 - SIGNIFICANT CORNER (PMHC DCP 2011)
 - NOISE MITIGATION ZONE (SLA REPORT NUMBER 621116/09)
 - LAND ZONE - R1 GENERAL RESIDENTIAL (PMHC LEP 2011)
 - LAND ZONE - RU1 PRIMARY PRODUCTION (PMHC LEP 2011)

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<div>KING + CAMPBELL</div>	<div>King & Campbell Pty Ltd www.kingandcampbell.com.au A PO Box 263 Port Macquarie NSW 2444 T: 02 6666 2000 F: 02 6662 4564 E: info@kingandcampbell.com.au</div>	REV. A	DATE 20.06.2016	DESCRIPTION ISSUED FOR INFORMATION	BY SC	<div>DATUM AHD</div> <div></div> <div>SCALE: 1:4000 @ A1 (1:8000 @ A3)</div> <div>NOTE: DO NOT SCALE OFF DRAWINGS. USE ROUNDED DIMENSIONS ONLY. REPORT ANY DISCREPANCIES TO THE AUTHOR. THIS DRAWING, BEING THE PROPERTY OF KING & CAMPBELL PTY LTD, IS PROTECTED BY COPYRIGHT AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF KING & CAMPBELL PTY LTD. © King & Campbell Pty Ltd</div>	PROJECT NO. 5709	DRAWING TITLE: EXHIBIT 03B - SITE ANALYSIS - PLANNING CONTROL				A1
						DESIGNED BY: DAT	SA NO.: *	PROJECT: PROPOSED SUBDIVISION OF LOT 1 DP 1193553, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25868, OCEAN DRIVE LAKE CATHE				
						DRAWN BY: SC			CLIENT: ST VINCENTS FOUNDATION			
						CHECKED BY: DAT	DATE CREATED: 04.2016	DRAWING NO. 5709P_Exhibits	SHEET 04	REVISION A		

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- LEGEND**
- EXTENT OF SUBJECT DA
 - EXISTING AND APPROVED CADASTRE
 - PROPOSED RESIDENTIAL SUBDIVISION
 - PNHG CONTOURS (0.5m INTERVALS)
 - PROPOSED SITE FILLING (APPROVED IN PROJECT APPROVAL, WP 57, 58/59)
 - SLOPE ANALYSIS - CATEGORY A: 0 - 10%
 - SLOPE ANALYSIS - CATEGORY B: 11 - 15%
 - SLOPE ANALYSIS - CATEGORY C: 16 - 20%
 - SLOPE ANALYSIS - CATEGORY D: 21 - 25%
 - SLOPE ANALYSIS - CATEGORY E: 26 - 30%
 - EXTENT OF LANDFORM MODIFICATION

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		<p>King & Campbell Pty Ltd www.kingandcampbell.com.au A 170/180/200/210/220/230/240/250/260/270/280/290/300/310/320/330/340/350/360/370/380/390/400/410/420/430/440/450/460/470/480/490/500/510/520/530/540/550/560/570/580/590/600/610/620/630/640/650/660/670/680/690/700/710/720/730/740/750/760/770/780/790/800/810/820/830/840/850/860/870/880/890/900/910/920/930/940/950/960/970/980/990/1000/1010/1020/1030/1040/1050/1060/1070/1080/1090/1100/1110/1120/1130/1140/1150/1160/1170/1180/1190/1200/1210/1220/1230/1240/1250/1260/1270/1280/1290/1300/1310/1320/1330/1340/1350/1360/1370/1380/1390/1400/1410/1420/1430/1440/1450/1460/1470/1480/1490/1500/1510/1520/1530/1540/1550/1560/1570/1580/1590/1600/1610/1620/1630/1640/1650/1660/1670/1680/1690/1700/1710/1720/1730/1740/1750/1760/1770/1780/1790/1800/1810/1820/1830/1840/1850/1860/1870/1880/1890/1900/1910/1920/1930/1940/1950/1960/1970/1980/1990/2000/2010/2020/2030/2040/2050/2060/2070/2080/2090/2100/2110/2120/2130/2140/2150/2160/2170/2180/2190/2200/2210/2220/2230/2240/2250/2260/2270/2280/2290/2300/2310/2320/2330/2340/2350/2360/2370/2380/2390/2400/2410/2420/2430/2440/2450/2460/2470/2480/2490/2500/2510/2520/2530/2540/2550/2560/2570/2580/2590/2600/2610/2620/2630/2640/2650/2660/2670/2680/2690/2700/2710/2720/2730/2740/2750/2760/2770/2780/2790/2800/2810/2820/2830/2840/2850/2860/2870/2880/2890/2900/2910/2920/2930/2940/2950/2960/2970/2980/2990/3000/3010/3020/3030/3040/3050/3060/3070/3080/3090/3100/3110/3120/3130/3140/3150/3160/3170/3180/3190/3200/3210/3220/3230/3240/3250/3260/3270/3280/3290/3300/3310/3320/3330/3340/3350/3360/3370/3380/3390/3400/3410/3420/3430/3440/3450/3460/3470/3480/3490/3500/3510/3520/3530/3540/3550/3560/3570/3580/3590/3600/3610/3620/3630/3640/3650/3660/3670/3680/3690/3700/3710/3720/3730/3740/3750/3760/3770/3780/3790/3800/3810/3820/3830/3840/3850/3860/3870/3880/3890/3900/3910/3920/3930/3940/3950/3960/3970/3980/3990/4000/4010/4020/4030/4040/4050/4060/4070/4080/4090/4100/4110/4120/4130/4140/4150/4160/4170/4180/4190/4200/4210/4220/4230/4240/4250/4260/4270/4280/4290/4300/4310/4320/4330/4340/4350/4360/4370/4380/4390/4400/4410/4420/4430/4440/4450/4460/4470/4480/4490/4500/4510/4520/4530/4540/4550/4560/4570/4580/4590/4600/4610/4620/4630/4640/4650/4660/4670/4680/4690/4700/4710/4720/4730/4740/4750/4760/4770/4780/4790/4800/4810/4820/4830/4840/4850/4860/4870/4880/4890/4900/4910/4920/4930/4940/4950/4960/4970/4980/4990/5000/5010/5020/5030/5040/5050/5060/5070/5080/5090/5100/5110/5120/5130/5140/5150/5160/5170/5180/5190/5200/5210/5220/5230/5240/5250/5260/5270/5280/5290/5300/5310/5320/5330/5340/5350/5360/5370/5380/5390/5400/5410/5420/5430/5440/5450/5460/5470/5480/5490/5500/5510/5520/5530/5540/5550/5560/5570/5580/5590/5600/5610/5620/5630/5640/5650/5660/5670/5680/5690/5700/5710/5720/5730/5740/5750/5760/5770/5780/5790/5800/5810/5820/5830/5840/5850/5860/5870/5880/5890/5900/5910/5920/5930/5940/5950/5960/5970/5980/5990/6000/6010/6020/6030/6040/6050/6060/6070/6080/6090/6100/6110/6120/6130/6140/6150/6160/6170/6180/6190/6200/6210/6220/6230/6240/6250/6260/6270/6280/6290/6300/6310/6320/6330/6340/6350/6360/6370/6380/6390/6400/6410/6420/6430/6440/6450/6460/6470/6480/6490/6500/6510/6520/6530/6540/6550/6560/6570/6580/6590/6600/6610/6620/6630/6640/6650/6660/6670/6680/6690/6700/6710/6720/6730/6740/6750/6760/6770/6780/6790/6800/6810/6820/6830/6840/6850/6860/6870/6880/6890/6900/6910/6920/6930/6940/6950/6960/6970/6980/6990/7000/7010/7020/7030/7040/7050/7060/7070/7080/7090/7100/7110/7120/7130/7140/7150/7160/7170/7180/7190/7200/7210/7220/7230/7240/7250/7260/7270/7280/7290/7300/7310/7320/7330/7340/7350/7360/7370/7380/7390/7400/7410/7420/7430/7440/7450/7460/7470/7480/7490/7500/7510/7520/7530/7540/7550/7560/7570/7580/7590/7600/7610/7620/7630/7640/7650/7660/7670/7680/7690/7700/7710/7720/7730/7740/7750/7760/7770/7780/7790/7800/7810/7820/7830/7840/7850/7860/7870/7880/7890/7900/7910/7920/7930/7940/7950/7960/7970/7980/7990/8000/8010/8020/8030/8040/8050/8060/8070/8080/8090/8100/8110/8120/8130/8140/8150/8160/8170/8180/8190/8200/8210/8220/8230/8240/8250/8260/8270/8280/8290/8300/8310/8320/8330/8340/8350/8360/8370/8380/8390/8400/8410/8420/8430/8440/8450/8460/8470/8480/8490/8500/8510/8520/8530/8540/8550/8560/8570/8580/8590/8600/8610/8620/8630/8640/8650/8660/8670/8680/8690/8700/8710/8720/8730/8740/8750/8760/8770/8780/8790/8800/8810/8820/8830/8840/8850/8860/8870/8880/8890/8900/8910/8920/8930/8940/8950/8960/8970/8980/8990/9000/9010/9020/9030/9040/9050/9060/9070/9080/9090/9100/9110/9120/9130/9140/9150/9160/9170/9180/9190/9200/9210/9220/9230/9240/9250/9260/9270/9280/9290/9300/9310/9320/9330/9340/9350/9360/9370/9380/9390/9400/9410/9420/9430/9440/9450/9460/9470/9480/9490/9500/9510/9520/9530/9540/9550/9560/9570/9580/9590/9600/9610/9620/9630/9640/9650/9660/9670/9680/9690/9700/9710/9720/9730/9740/9750/9760/9770/9780/9790/9800/9810/9820/9830/9840/9850/9860/9870/9880/9890/9900/9910/9920/9930/9940/9950/9960/9970/9980/9990/10000/10010/10020/10030/10040/10050/10060/10070/10080/10090/10100/10110/10120/10130/10140/10150/10160/10170/10180/10190/10200/10210/10220/10230/10240/10250/10260/10270/1028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LEGEND

- EXTENT OF SUBJECT DA FOR SUBDIVISION ONLY. CENTRAL CORRIDOR ENVIRONMENTAL RESTORATION WORKS, LANDSCAPING, SPORTING FIELDS, CHILDREN'S PLAY AREAS, LINK BRIDGES AND WALKWAYS, CYCLOWAY, POND AREAS, WETLANDS, SUBDIVISION BLANK EARTHWORKS AND BEACH ACCESS APPROVED IN PROJECT APPROVAL MP07.0001.
- PROPOSED RESIDENTIAL SUBDIVISION
- EXISTING AND APPROVED CADASTRE
- PAVE CONTOURS (3m INTERVALS)
- PROPOSED 1.5m FOOTPATH LOCATION
- PROPOSED FOOTPATH IN VILLAGE CENTRE (TO BE CONSTRUCTED WITH BUILT FORM FUTURE DEVELOPMENT)
- PROPOSED 2m SHADERMATS
- PROPOSED CONCRETE FOOTPATH (APPROVED IN PROJECT APPROVAL MP 07.0001)
- PROPOSED ELEVATED BOARDWALK (APPROVED IN PROJECT APPROVAL MP 07.0001)
- PROPOSED BASED GRAVEL WALKWAY (APPROVED IN PROJECT APPROVAL MP 07.0001)
- PROPOSED GRAVEL ACCESS PATHS (APPROVED IN PROJECT APPROVAL MP 07.0001)
- EXISTING GRAVEL WALKWAY
- PROPOSED ELEVATED BOARDWALK

- PROPOSED LARGE TREES
 - Eucalyptus microcorys (Tallowood) (mature height up to 15m)
 - Corymbia maculata (Spotted Gum) (mature height up to 15m)
 - Lophostemon confertus (Brush Box) (mature height 10 - 12m)
- PROPOSED MEDIUM TREES
 - Eucalyptus acuminata (Summit) (mature height up to 8m)
 - Waterhousea borbonica (Pheasant Lili) (mature height 8 - 10m)
- PROPOSED SMALL TREES
 - Casuarina imbricaria (Ternstroem) (mature height 8 - 10m)
 - Thamnosia laevis (Water Gum) (mature height 7 - 10m)
- PROPOSED LANDSCAPE BUFFER PLANTING
 - REFER TO DETAIL EXHIBIT 040 - SHEET 07
- GENERAL RESIDENTIAL LOTS
- MEDIUM DENSITY RESIDENTIAL DEVELOPMENT LOTS
- VILLAGE CENTRE DEVELOPMENT LOTS



CAUTION
THIS PLAN HAS BEEN PREPARED FOR THE PURPOSE OF A DEVELOPMENT APPLICATION. THE INFORMATION SHOWN HEREIN IS ONLY RELIABLE FOR THE ABOVE PURPOSE. IT SHOULD NOT THEREFORE BE USED FOR ANY OTHER PURPOSE WITHOUT VERIFICATION.



ROUSTON
DRIVE

MITCHELL
DRIVE

OCEAN
DRIVE

DRIVE

OCEAN
DRIVE

OCEAN
DRIVE

OCEAN
DRIVE

OCEAN
DRIVE

LOT 3A
DP 803851

OCEAN CLUB RESORT
LOT 1, DP 115458

LOT 3
DP 706267

LOT 2
DP 706267

APPROVED
RESIDENTIAL SUBDIVISION
(DA 2012/381)
"SEAWOOD ESTATE"

APPROVED
RESIDENTIAL SUBDIVISION
(DA 2012/381)
"CATARINA ESTATE"

LAKE CATHE PUBLIC
SCHOOL
LOT 2
DP 118053
(DA 2013/358 AND
DA 2013/601)

700
7.7 Ha
DISTRICT
SPORTING FIELDS

697
2.17 Ha
POCKET
WOODLAND

REFER TO SUBDIVISION
PRECINCT PLANS
EXHIBITS 5B AND 5C FOR
PROPOSED LOTS 1 TO 696

698
4.33 Ha
EASTERN
CREEK

699
5.39 Ha
LOT 5
ENVIRONMENTAL
LAND

702
70.41 Ha
CENTRAL CORRIDOR

SEWAGE
TREATMENT
PLANT

701
7.33 Ha
SOUTHERN
SCHOOL SITE

LEGEND

- EXTENT OF SUBJECT DA
- EXISTING AND APPROVED CADASTRE
- PROPOSED RESIDENTIAL SUBDIVISION
- PMHC CONTOURS (0.5m INTERVALS)

NOTE:

PROPOSED LOTS 1 - 890 GENERAL RESIDENTIAL - REFER TO EXHIBITS 5B & 5C
PROPOSED LOTS 881 - 891 MEDIUM DENSITY RESIDENTIAL - REFER TO EXHIBITS 5B & 5C
PROPOSED LOTS 892 - 896 VILLAGE CENTRE - REFER TO EXHIBITS 5B & 5C

CAUTION

THIS PLAN HAS BEEN PREPARED FOR THE PURPOSE OF A DEVELOPMENT APPLICATION. THE INFORMATION SHOWN HEREIN IS ONLY RELIABLE FOR THE ABOVE PURPOSE. IT SHOULD NOT THEREFORE BE USED FOR ANY OTHER PURPOSE WITHOUT VERIFICATION.

KING + CAMPBELL

King & Campbell Pty Ltd
www.kingandcampbell.com.au
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T: 02 6681 2800
F: 02 6681 4564
E: info@kingandcampbell.com.au

REV. A DATE 20.06.2016 DESCRIPTION ISSUED FOR INFORMATION

BY SC

DATUM: AHD SCALE: 1:4000 @ A1 (1:8000 @ A3)
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PROJECT NO: 5709
DA NO: 1
DESIGNED BY: DAT
DRAWN BY: SC
CHECKED BY: DAT
DATE CREATED: 04.2016

DRAWING TITLE: EXHIBIT 05A - SUBDIVISION MASTER PLAN

PROJECT: PROPOSED SUBDIVISION OF LOT 1 DP 1103553, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATHE

CLIENT: ST VINCENTS FOUNDATION

DRAWING NO: 5709P_Exhibits

SHEET: 07

REVISION: A

PRELIMINARY ONLY - DO NOT USE FOR CONSTRUCTION

A1

LEGEND

- EXTENT OF SUBJECT DA
- EXISTING AND APPROVED CADASTRE
- PROPOSED RESIDENTIAL SUBDIVISION
- PINK CONTOURS (0.5m INTERVALS)
- PROPOSED RESIDENTIAL SUBDIVISION PRECINCT STAGES
- DETAILED SUBDIVISION SHEET PLANS - REFER TO EXHIBIT 05C
- EASEMENT

EASEMENT INFORMATION

- (A) EASEMENT FOR WATER SUPPLY AND SEWERAGE PIPELINES VARIABLE WIDTH (X7878164, DP1638844, GAZ-29-1-1988 FOL.4002)
- (B) PROPOSED EASEMENT 10 WIDE FOR WATER SUPPLY AND SEWERAGE PIPELINES (DP1638844)
- (C) PROPOSED EASEMENT 5 WIDE FOR SEWERAGE RISING MAIN (DP1638844)
- (D) EASEMENT FOR WATER SUPPLY (N7447016)



EXHIBIT 05C - SUBDIVISION PRECINCT PLAN SHEET 1

EXHIBIT 05C - SUBDIVISION PRECINCT PLAN SHEET 2

EXHIBIT 05C - SUBDIVISION PRECINCT PLAN SHEET 3

EXHIBIT 05C - SUBDIVISION PRECINCT PLAN SHEET 4

EXHIBIT 05C - SUBDIVISION PRECINCT PLAN SHEET 5

EXHIBIT 05C - SUBDIVISION PRECINCT PLAN SHEET 6

NOTE:

A POSITIVE COVENANT IS TO BE CREATED ON THE RESIDENTIAL RESIDUE AT EACH STAGE TO REQUIRE THAT IT BE MAINTAINED AS AN IPA

CAUTION

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PROJECT NO. 5709
DA NO. 1
DESIGNED BY: DAT
DRAWN BY: SC
CHECKED BY: DAT
DATE CREATED: 04/2016

DRAWING TITLE: EXHIBIT 05B - SUBDIVISION PRECINCT KEY PLAN

PROJECT: PROPOSED SUBDIVISION OF LOT 1 DP 1103853, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATRIE

CLIENT: ST VINCENT'S FOUNDATION

DRAWING NO. 5709P - Exhibits

SHEET: 08 REVISION: A

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A1

LEGEND

- EXTENT OF SUBJECT DA
 --- EXISTING AND APPROVED CADASTRE
 --- PROPOSED RESIDENTIAL SUBDIVISION
 --- PNM CONTOURS (0.5m INTERVALS)
 --- PROPOSED RESIDENTIAL SUBDIVISION PRECINCTS
- BUSHFIRE HAZARD LINE
 --- BUSHFIRE APZ(m) BAL
 --- EXISTING TELSTRA SERVICE, APPROXIMATE LOCATION ONLY
 --- POTENTIAL DUAL OCCUPANCY LOT DWELLING AFFECTED BY NOISE MITIGATION - REFER TABLE
 --- (*)
 --- (AC)

RECOMMENDED ACOUSTIC BUILDING CONSTRUCTION CATEGORY

PRECINCT A

Lot	Construction category
533 to 545	Single storey Two storey
546 to 557	2 2
558	2 2
559 to 563	1 2
564 to 570	2 2

PRECINCT B

Lot	Construction category
546 to 557	Single storey Two storey
558 to 559	2 2
560 to 611	1 2

PRECINCT C

Lot	Construction category
581	Single storey Two storey
582 (northern elevation)	2 2



FOR CONTINUATION REFER TO SUBDIVISION PRECINCT PLAN SHEET 4

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PROJECT NO: 5709
DA NO: 1
DESIGNED BY: DAT
DRAWN BY: SC
CHECKED BY: DAT
DATE CREATED: 04.2016

DRAWING TITLE: EXHIBIT 05C - SUBDIVISION PRECINCT PLAN SHEET 1
PROJECT: PROPOSED SUBDIVISION OF LOT 1 DP 1103653, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 253866, OCEAN DRIVE LAKE CATIE
CLIENT: ST VINCENT'S FOUNDATION

DRAWING NO: 5709P_Exhibits

SHEET: 09
REVISION: A

PRELIMINARY ONLY - DO NOT USE FOR CONSTRUCTION FOR CONTINUATION REFER TO SUBDIVISION PRECINCT PLAN SHEET 2

A1

LEGEND

- EXTENT OF SUBJECT DA
- EXISTING AND APPROVED CADASTRE
- PROPOSED RESIDENTIAL SUBDIVISION
- PMHC CONTOURS (0.5m INTERVALS)
- PROPOSED RESIDENTIAL SUBDIVISION PRECINCTS
- EXISTING TELSTRA SERVICE, APPROXIMATE LOCATION ONLY
- BUSHFIRE HAZARD LINE
- BUSHFIRE APZ(m) / BAL
- POTENTIAL DUAL OCCUPANCY LOT DWELLING AFFECTED BY NOISE MITIGATION - REFER TABLE

RECOMMENDED ACOUSTIC BUILDING CONSTRUCTION CATEGORY

Lot	Construction category	
	Single storey	Two storey
46 to 66	2 (barricade to Ocean Drive only)	2
71 to 74	2	2
75 to 77	1	2
141 to 142	1	2
172 to 174	1	2

Lot	Construction category	
	Single storey	Two storey
175	1	2

EASEMENT INFORMATION

- (A) EASEMENT FOR WATER SUPPLY AND SEWERAGE PIPELINES VARIABLE WIDTH (08/9764, DP636644, GAZ.20-1-1988, POL.4002)
- (B) PROPOSED EASEMENT 10 WIDE FOR WATER SUPPLY AND SEWERAGE PIPELINES (DP636601)
- (C) PROPOSED EASEMENT 5 WIDE FOR SEWERAGE RISING MAIN (DP636601)
- (D) EASEMENT FOR WATER SUPPLY (N744276)



NOTE:
A POSITIVE COVENANT IS TO BE CREATED ON THE RESIDENTIAL RESIDUE AT EACH STAGE TO REQUIRE THAT IT BE MAINTAINED AS AN IPA.

CAUTION
THIS PLAN HAS BEEN PREPARED FOR THE PURPOSE OF A DEVELOPMENT APPLICATION. THE INFORMATION SHOWN HEREIN IS ONLY RELIABLE FOR THE ABOVE PURPOSE. IT SHOULD NOT THEREFORE BE USED FOR ANY OTHER PURPOSE WITHOUT VERIFICATION.

LEGEND

- EXTENT OF SUBJECT DA
 — EXISTING AND APPROVED CADASTRE
 — PROPOSED RESIDENTIAL SUBDIVISION
 — P.M.C. CONTOURS (0.5m INTERVALS)
 — PROPOSED RESIDENTIAL SUBDIVISION PRECINCTS
 (*) POTENTIAL DUAL OCCUPANCY LOT
 (AC) DWELLING AFFECTED BY NOISE MITIGATION - REFER TABLE
 --- BUSHFIRE HAZARD LINE
 --- BUSHFIRE AP(2m) / BAL

EASEMENT INFORMATION

- (A) EASEMENT FOR WATER SUPPLY AND SEWERAGE PIPELINES VARIABLE WIDTH (X579764, DP639644, QAZ297-1989 FOL 400)
 (B) PROPOSED EASEMENT 10 WIDE FOR WATER SUPPLY AND SEWERAGE PIPELINES (DP639601)
 (C) PROPOSED EASEMENT 5 WIDE FOR SEWERAGE RISING MAIN (DP639601)
 (D) EASEMENT FOR WATER SUPPLY (N744276)

RECOMMENDED ACOUSTIC BUILDING CONSTRUCTION CATEGORY

PRECINCT E

Lot	Construction category	
1 to 15	Single Storey	Two Storey
16 to 32	1	2
33 to 45	1	2
46	2	2
47	1	2



FOR CONTINUATION REFER TO SUBDIVISION PRECINCT PLAN SHEET 2

FOR CONTINUATION REFER TO SUBDIVISION PRECINCT PLAN SHEET 2

NOTE:

A POSITIVE COVENANT IS TO BE CREATED ON THE RESIDENTIAL RESIDUE AT EACH STAGE TO REQUIRE THAT IT BE MAINTAINED AS AN IPA.

CAUTION

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 DA NO: 1
 DESIGNED BY: DAT
 DRAWN BY: SC
 CHECKED BY: DAT
 DATE CREATED: 04/2016

DRAWING TITLE: EXHIBIT 05C - SUBDIVISION PRECINCT PLAN SHEET 3
 PROJECT: PROPOSED SUBDIVISION OF LOT 1 DP 1103553, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATRIE
 CLIENT: ST VINCENTS FOUNDATION

DRAWING NO: 5709P_Exhibits SHEET: 11 REVISION: A

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A1

LEGEND

- EXTENT OF SUBJECT DA
- EXISTING AND APPROVED CADASTRE
- PROPOSED RESIDENTIAL SUBDIVISION
- PMHC CONTOURS (0.5m INTERVALS)
- PROPOSED RESIDENTIAL SUBDIVISION PRECINCTS
- POTENTIAL DUAL OCCUPANCY LOT
- BUSHFIRE HAZARD LINE
- BUSHFIRE AP(2m) BAL

FOR CONTINUATION REFER TO SUBDIVISION PRECINCT PLAN SHEET 1



NOTE:
A POSITIVE COVENANT IS TO BE CREATED ON THE RESIDENTIAL RESIDUE AT EACH STAGE TO REQUIRE THAT IT BE MAINTAINED AS AN IPA.

CAUTION
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DA NO: 1
DESIGNED BY: DAT
DRAWN BY: SC
CHECKED BY: DAT
DATE CREATED: 04/2016

DRAWING TITLE: EXHIBIT 05C - SUBDIVISION PRECINCT PLAN SHEET 4
PROJECT: PROPOSED SUBDIVISION OF LOT 1 DP 1103653, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25866, OCEAN DRIVE LAKE CATRIE
CLIENT: ST VINCENTS FOUNDATION

DRAWING NO: 5709P_Exhibits SHEET: 12 REVISION: A

A1



LEGEND

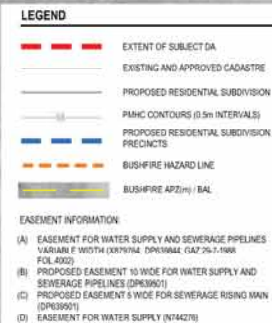
- EXTENT OF SUBJECT DA
- EXISTING AND APPROVED CADASTRE
- PROPOSED RESIDENTIAL SUBDIVISION
- PACIFIC COAST (0.5m INTERVALS)
- PROPOSED RESIDENTIAL SUBDIVISION PRECINCTS
- POTENTIAL DUAL OCCUPANCY LOT
- BUSHFIRE HAZARD LINE
- BUSHFIRE APC(n) / BAL

NOTE:
A POSITIVE COVENANT IS TO BE CREATED ON THE RESIDENTIAL RESIDUE AT EACH STAGE TO REQUIRE THAT IT BE MAINTAINED AS AN IPA.

CAUTION
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NOTE:
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CAUTION

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PROJECT NO:	3709	DRAWING TITLE:	EXHIBIT 05C - SUBDIVISION PRECINCT PLAN SHEET 6				A1
DA NO:	+						
DESIGNED BY:	DAT	PROJECT:	PROPOSED SUBDIVISION OF LOT 1 DP 1193553, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATHERINE				
DRAWN BY:	BC						
CHECKED BY:	DAT	CLIENT:	ST VINCENT'S FOUNDATION	DRAWING NO	SHEET	REVISION	
DATE CREATED:	04/2016			5709P - Exhibits	14	A	

LEGEND

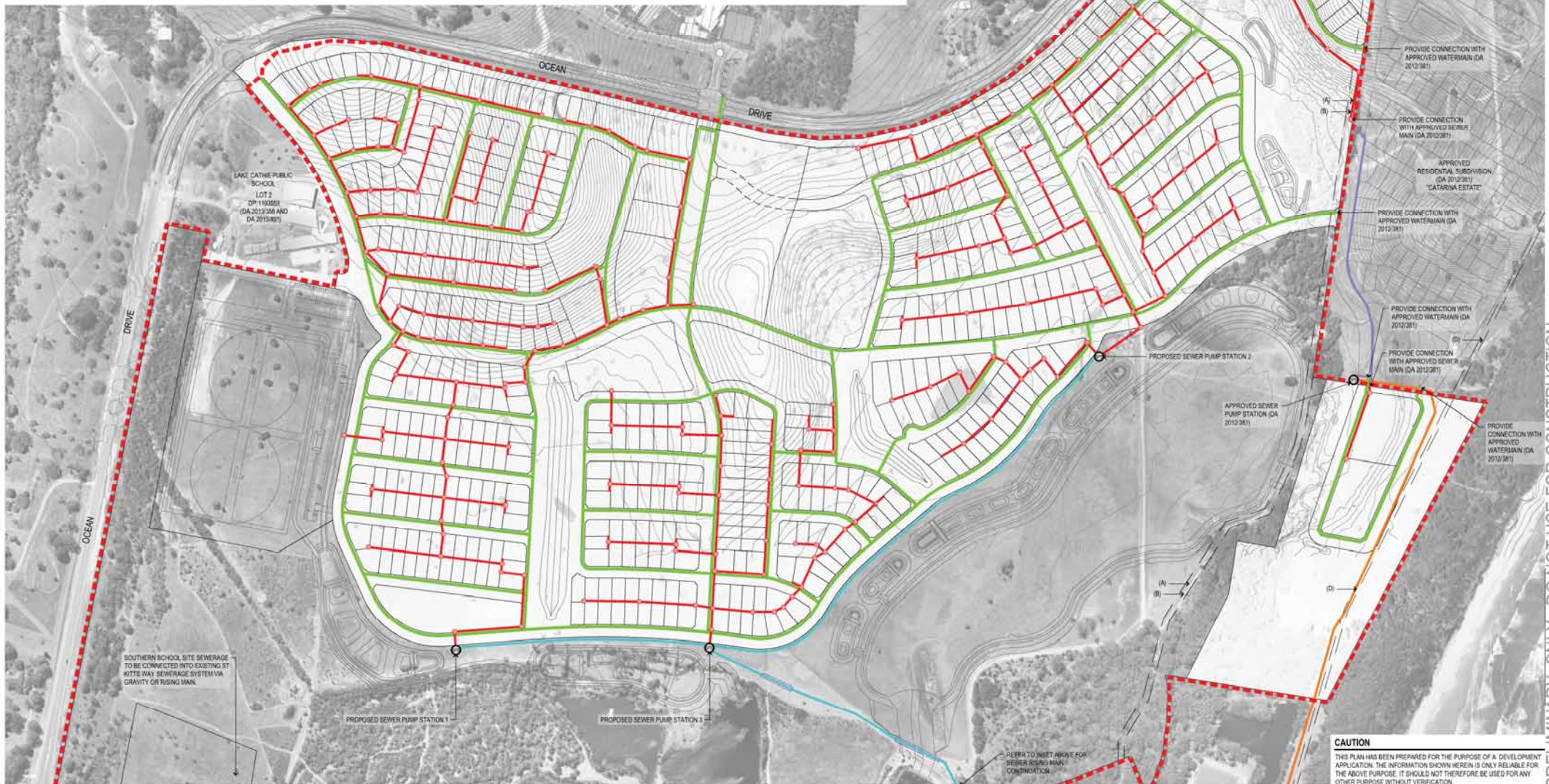
- - - - - EXTENT OF SUBJECT DA
 - - - - - EXISTING AND APPROVED CADASTRE
 - - - - - PIMC CONTOURS (5m INTERVALS)
 - - - - - PROPOSED SEWER & MANHOLE
 - - - - - PROPOSED SEWER RISING MAIN
 - - - - - PROPOSED CONDUITS (APPROVED IN PROJECT
 APPROVAL, MP01/0001)
 - - - - - APPROVED SEWER MAIN (DA 2012/381)
 - - - - - APPROVED SEWER RISING MAIN (DA 2012/381)
 - - - - - PROPOSED DUAL RETICULATION WATER MAIN
 - - - - - SEWER PUMP STATION

EASEMENT INFORMATION:

- (A) EASEMENT FOR WATER SUPPLY AND SEWERAGE PIPELINES
 VARIABLE WIDTH (DA76164, DP63884, GAZ 29-7-1988 FOL 400)
 (B) PROPOSED EASEMENT 16' WIDE FOR WATER SUPPLY AND
 SEWERAGE PIPELINES (DP63907)
 (C) PROPOSED EASEMENT 5' WIDE FOR SEWERAGE RISING MAIN
 (DP63907)
 (D) EASEMENT FOR WATER SUPPLY (N744276)



INSET



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S709

DRAWING TITLE: EXHIBIT 06 - RESIDENTIAL SERVICING (SEWER & WATER)

PROJECT: PROPOSED SUBDIVISION OF LOT 1 DP 1103553, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25586, OCEAN DRIVE LAKE CATRINE

CLIENT: ST VINCENTS FOUNDATION

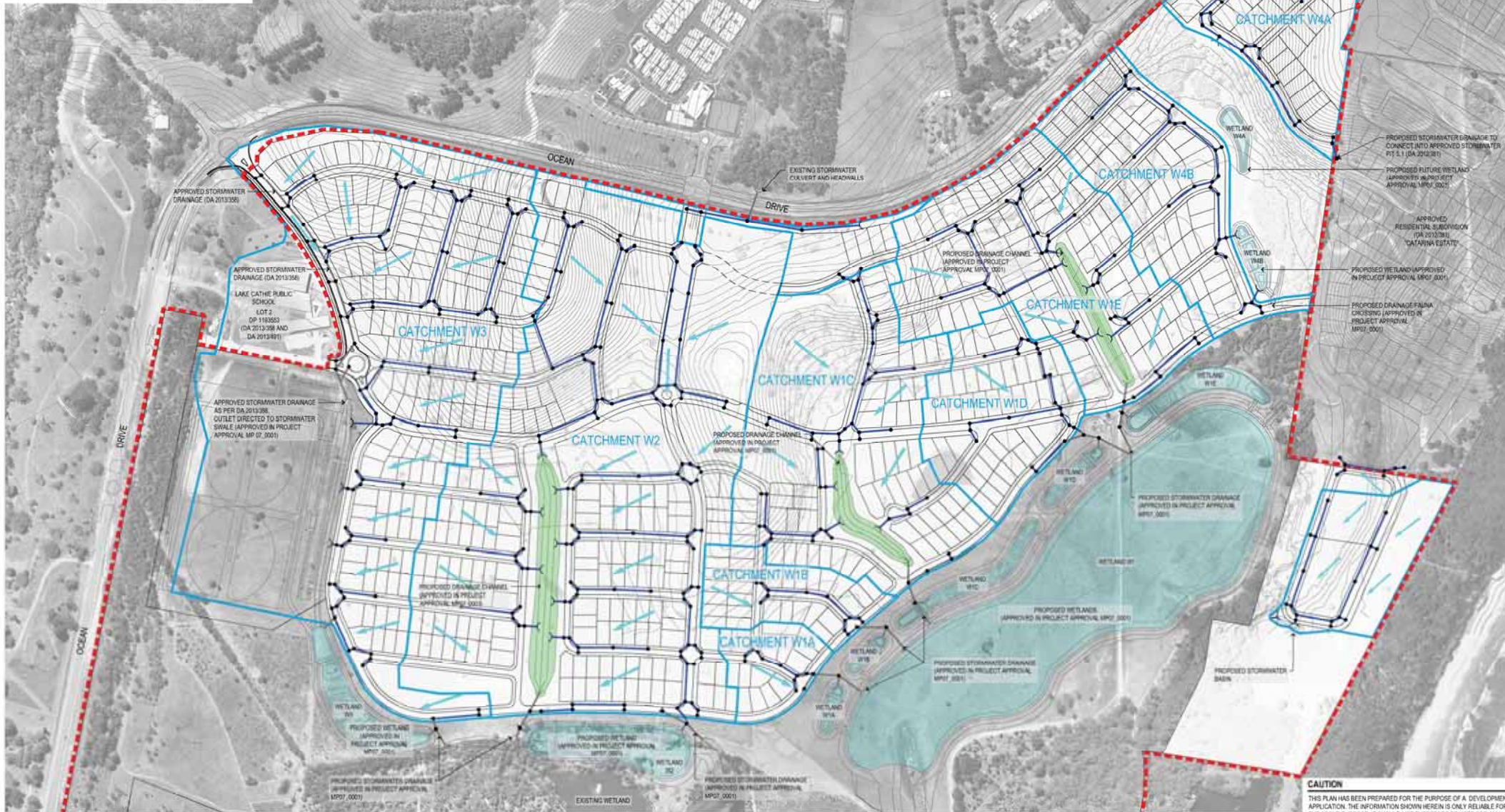
DRAWING NO.
 S709P - Exhibits

SHEET
 15
 REVISION
 A

A1

LEGEND

- EXTENT OF SUBJECT DA
- EXISTING AND APPROVED CADASTRE
- PROPOSED RESIDENTIAL SUBDIVISION
- PMKC CONTOURS (0.5m INTERVALS)
- STORMWATER CATCHMENTS
- STORMWATER FLOW DIRECTION
- PROPOSED STORMWATER DRAINAGE AND PIT
- EXISTING / APPROVED STORMWATER DRAINAGE AND PIT (REFER NOTATIONS FOR STATUS)



CAUTION
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DA NO:	1
DESIGNED BY:	DAT
DRAWN BY:	SC
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DATE CREATED:	04.2016

DRAWING TITLE: EXHIBIT 07 - STORMWATER MANAGEMENT PLAN		A1	
PROJECT:	PROPOSED SUBDIVISION OF LOT 1 DP 1102653, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATHIE		
CLIENT:	ST VINCENT'S FOUNDATION	DRAWING NO:	5709P_Exhibits
		SHEET:	16
		REVISION:	A

LEGEND

- EXTENT OF SUBJECT DA
- PROPOSED RESIDENTIAL SUBDIVISION
- EXISTING CADASTRE
- PROPOSED ACQUITTANCE FENCE (B/L, ROAD TRAFFIC NOISE IMPACT ASSESSMENT REPORT, REPORT NUMBER 535.1178/18)
- REFER TO DETAIL SHEET 27
- SIGNIFICANT CORNER TREATMENT
- REFER TO DETAIL SHEET 27

- PROPOSED LARGE TREES
 - Eucalyptus macrocarpa (Tallwood) (mature height up to 15m)
 - Corymbia maculata (Spotted Gum) (mature height up to 15m)
 - Lophospermum caribaeum (Shrub Blue) (mature height 10-15m)
- PROPOSED MEDIUM TREES
 - Shorea robusta (Custard Apple) (mature height up to 10m)
 - Waterhousea borbonica (Flamingo Lily Palm) (mature height 8-10m)
- PROPOSED SMALL TREES
 - Cassipouira ovata (Cassipouira) (mature height 8-10m)
 - Tournefortia bicolor (Yellow Gum) (mature height 7-10m)
- PROPOSED LANDSCAPE BUFFER PLANTING
- REFER TO DETAIL SHEET 27



CAUTION

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DA NO: 1
DESIGNED BY: DAT
DRAWN BY: SC
CHECKED BY: DAT
DATE CREATED: 04/2016

DRAWING TITLE: EXHIBIT 08A - STREET TREE AND FENCING PLAN

PROJECT: PROPOSED SUBDIVISION OF LOT 1 DP 1103553, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATRIE

CLIENT: ST VINCENT'S FOUNDATION

DRAWING NO: 5709P_Exhibits

SHEET: 17 REVISION: A

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A1

LEGEND

- EXTENT OF SUBJECT DA
- EXISTING AND APPROVED CADASTRE
- PROPOSED RESIDENTIAL SUBDIVISION
- MAIN STREET (TYPE A) REFER TO SECTION A
- COLLECTOR ROAD (TYPE B) REFER TO SECTION B
- PERIMETER ROAD (TYPE C) REFER TO SECTION C
- DRAINAGE RESERVE EDGE ROAD (TYPE D) REFER TO SECTION D
- LOCAL ROAD (TYPE E) REFER TO SECTION E
- PERIMETER ROAD SPECIAL (TYPE F) REFER TO SECTION F
- SECTION MARK
- PROPOSED 1.2m FOOTPATH LOCATION
- PROPOSED FOOTPATH IN VILLAGE CENTRE (TO BE CONSTRUCTED WITH BUILT FORM FUTURE DEVELOPMENT)
- PROPOSED 2.5m SHAREDWAY
- PROPOSED CONCRETE FOOTPATH (APPROVED IN PROJECT APPROVAL MP 07/2001)
- PROPOSED ELEVATED BOARDWALK (APPROVED IN PROJECT APPROVAL MP 07/2001)
- PROPOSED BAGG GRAVEL WALKWAY (APPROVED IN PROJECT APPROVAL MP 07/2001)
- PROPOSED BLASTED GRADE ACCESS PATHS (APPROVED IN PROJECT APPROVAL MP 07/2001)
- EXISTING GRAVEL WALKWAY
- PROPOSED ELEVATED BOARDWALK
- PROPOSED BLUE STOP LOCATIONS



CAUTION
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B <td>24.06.2016 <td>FOOTPATH ADDED</td> </td>	24.06.2016 <td>FOOTPATH ADDED</td>	FOOTPATH ADDED

BY
SC
SC

DATUM: AHD
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CHECKED BY:
DATE CREATED: 04/2016

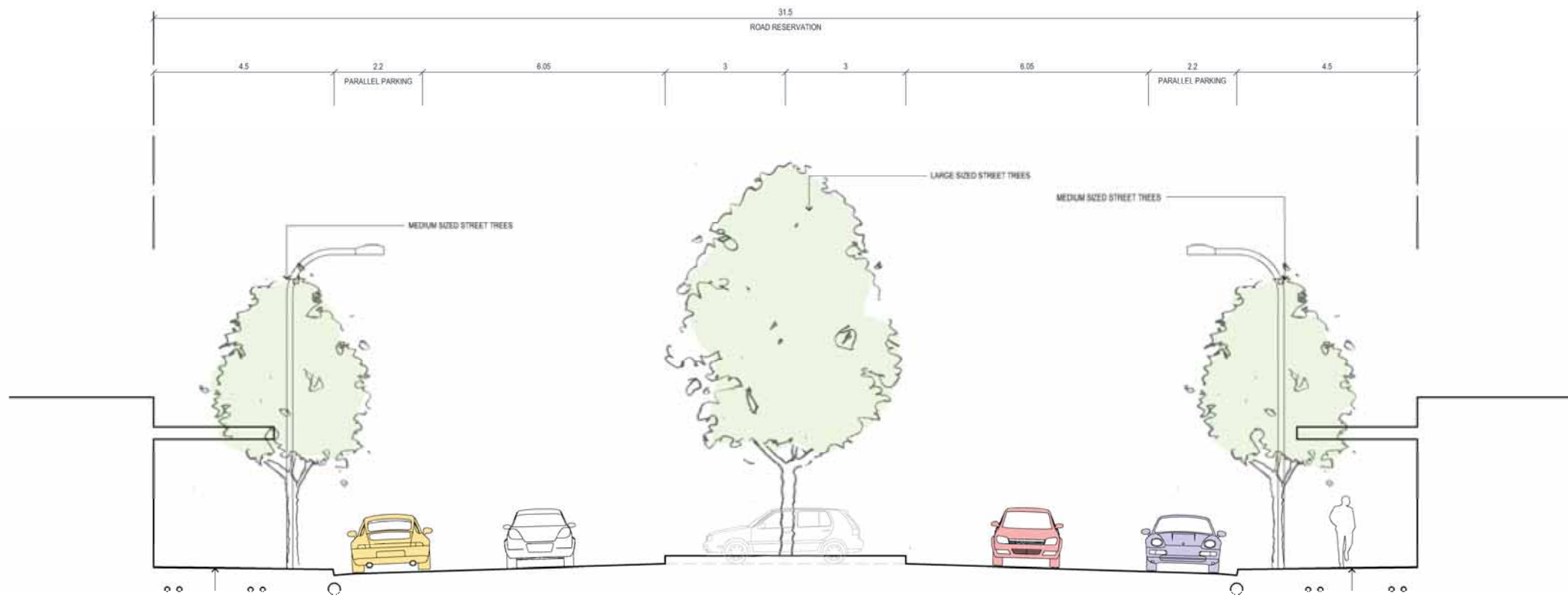
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04/2016

DRAWING TITLE: EXHIBIT 08B - STREET HIERARCHY AND PEDESTRIAN MOVEMENT
PROJECT: PROPOSED SUBDIVISION OF LOT 1 DP 1103553, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATRE
CLIENT: ST VINCENTS FOUNDATION

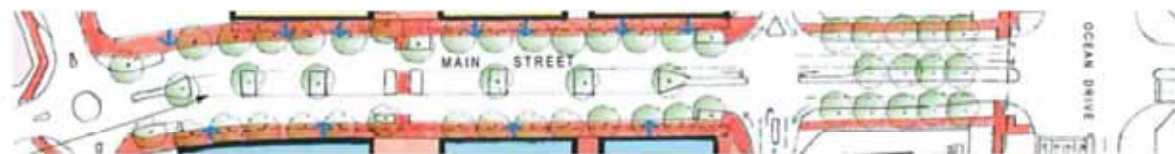
DRAWING NO.	SHEET	REVISION
S709P_Exhibits	18	B

PRELIMINARY ONLY - DO NOT USE FOR CONSTRUCTION

A1



SECTION A
ROAD TYPE A - MAIN STREET



INDICATIVE MAIN STREET PLAN

CAUTION

REV.	DATE	DESCRIPTION	BY
A	20.06.2016	ISSUED FOR INFORMATION	SC

DATUM: AHD
SCALE: 1:50 @ A1
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DA NO: 1
DESIGNED BY: DAT
DRAWN BY: SC
CHECKED BY: DAT
DATE CREATED: 04.2016

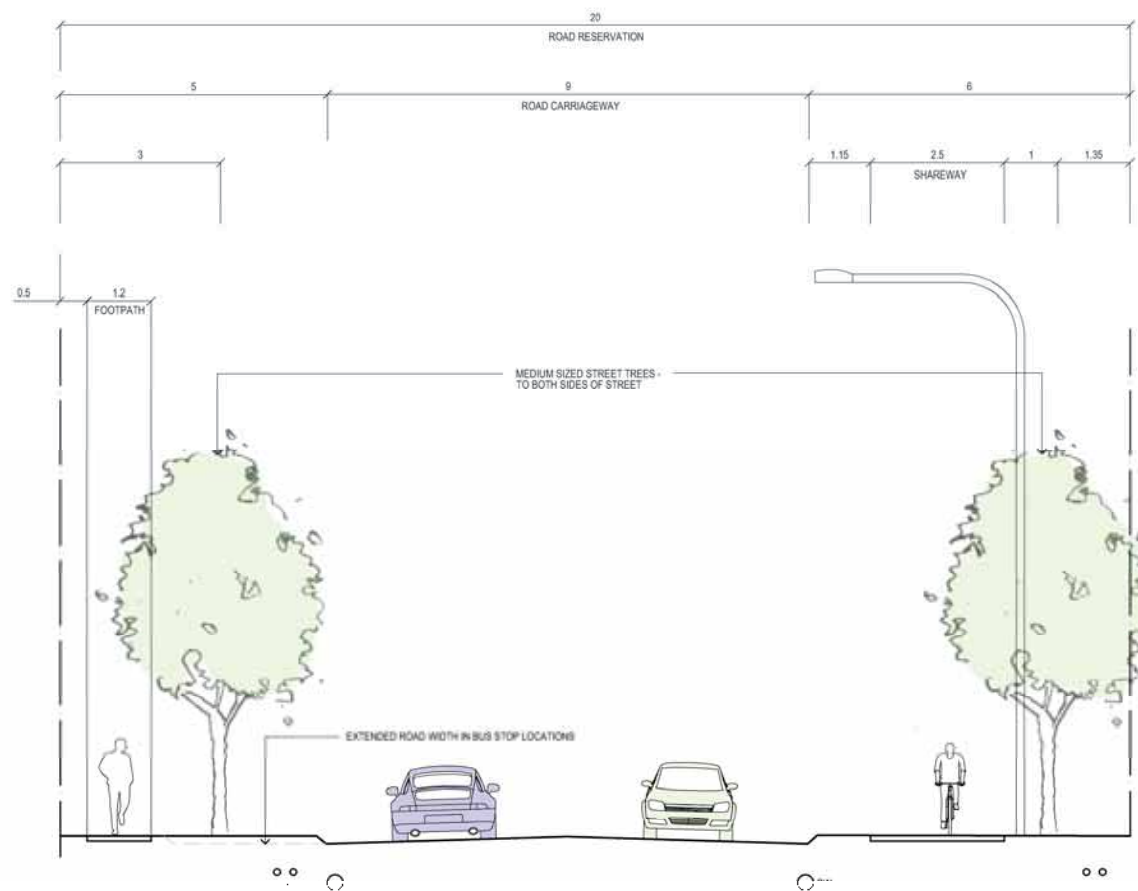
DRAWING TITLE: EXHIBIT 08C - TYPICAL ROAD SECTIONS SHEET 1

PROJECT: PROPOSED SUBDIVISION OF LOT 1 DP 1192953, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATHE

CLIENT: ST VINCENTS FOUNDATION

DRAWING NO: 5709P_Exhibits

SHEET: 19
REVISION: A



SECTION B
ROAD TYPE 3 - COLLECTOR ROAD

SECTION

REV.	DATE	DESCRIPTION	BY
A	20.06.2016	ISSUED FOR INFORMATION	SC

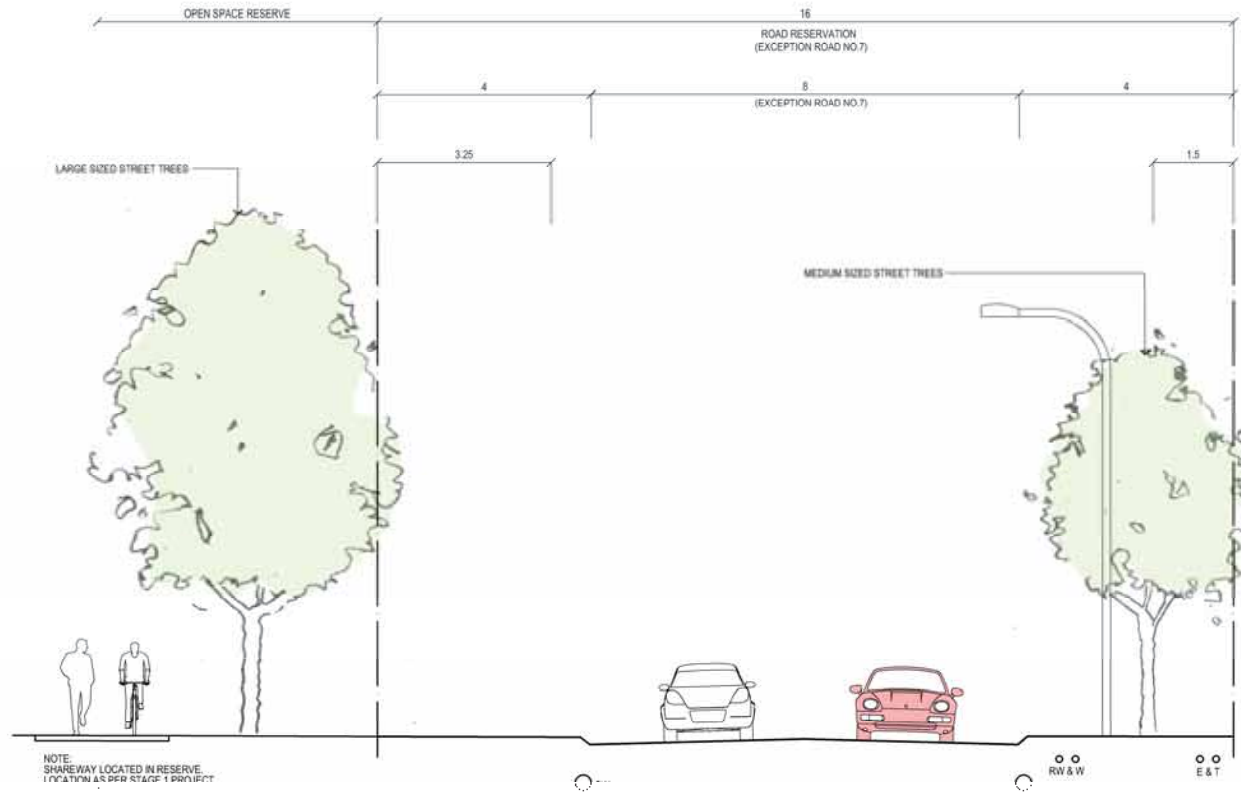
DATUM	AHD	SCALE
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PROJECT NO.	5709
DESIGNED BY:	DAT
DRAWN BY:	SC
CHECKED BY:	DAT
DATE CREATED	04.2016

DRAWING TITLE:	EXHIBIT 08C - TYPICAL ROAD SECTIONS SHEET 2
PROJECT:	PROPOSED SUBDIVISION OF LOT 1 DP 1162553, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATHE
CLIENT:	ST VINCENT'S FOUNDATION

DRAWING NO.	SHEET	REVISION
5709P_08c	20	A



SECTION C
ROAD TYPE C - PERMETER ROAD

SECTION

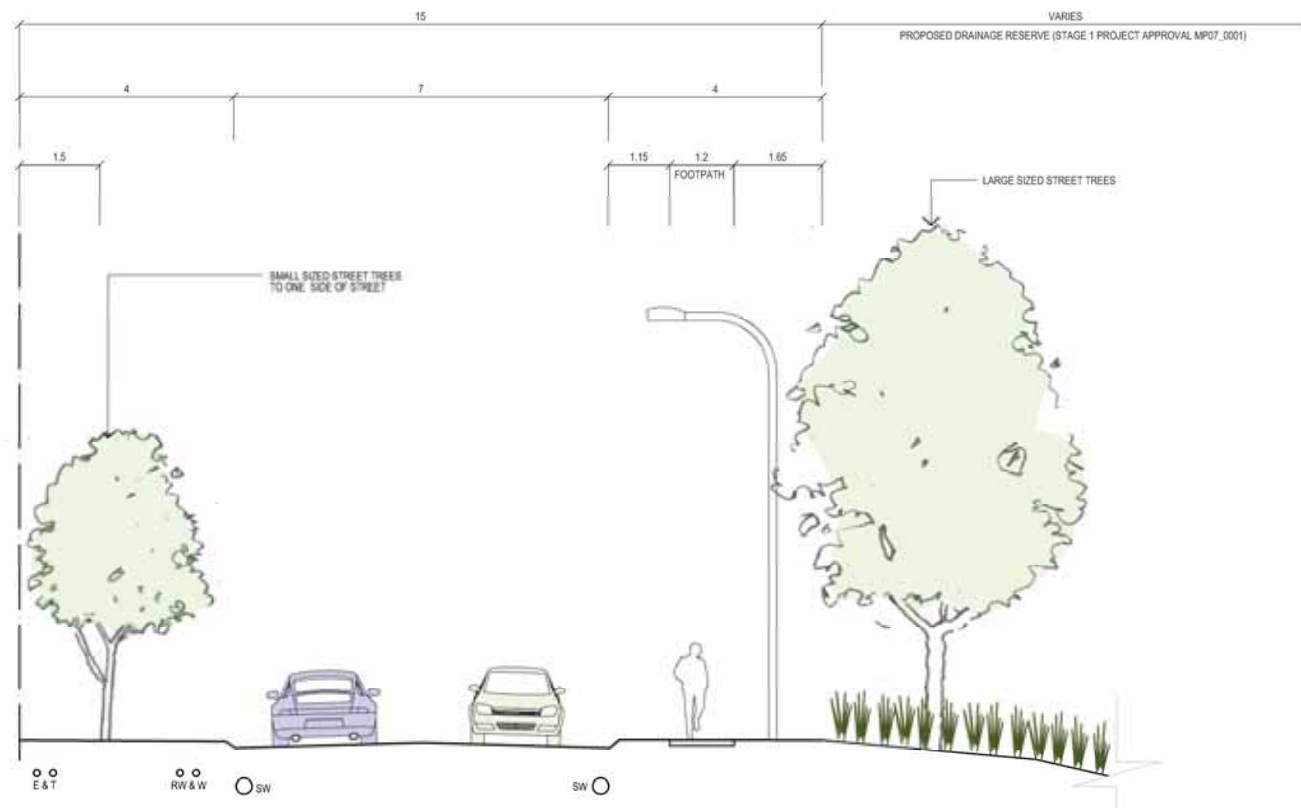
REV.	DATE	DESCRIPTION	BY
A	20.06.2016	ISSUED FOR INFORMATION	SC

DATUM	AHD	SCALE
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PROJECT NO.	5709
DA NO.	1
DESIGNED BY:	DAT
DRAWN BY:	SC
CHECKED BY:	DAT
DATE CREATED	04.2016

DRAWING TITLE:	EXHIBIT 08C - TYPICAL ROAD SECTIONS SHEET 3
PROJECT:	PROPOSED SUBDIVISION OF LOT 1 DP 1162953, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATHE
CLIENT:	ST VINCENT'S FOUNDATION
DRAWING NO.	5709P_Exhibits
SHEET	21
REVISION	A



SECTION D
ROAD TYPE D - DRAINAGE RESERVE EDGE ROAD

SECTION

REV.	DATE	DESCRIPTION	BY
A	20.06.2016	ISSUED FOR INFORMATION	SC

DATUM AHD
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(1:100 @ A3)

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PROJECT NO.	5709
DESIGNED BY:	DAT
DRAWN BY:	SC
CHECKED BY:	DAT
DATE CREATED	04/2016

DRAWING TITLE:	EXHIBIT 08C - TYPICAL ROAD SECTIONS SHEET 4
PROJECT:	PROPOSED SUBDIVISION OF LOT 1 DP 1192953, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATHE
CLIENT:	ST VINCENT'S FOUNDATION

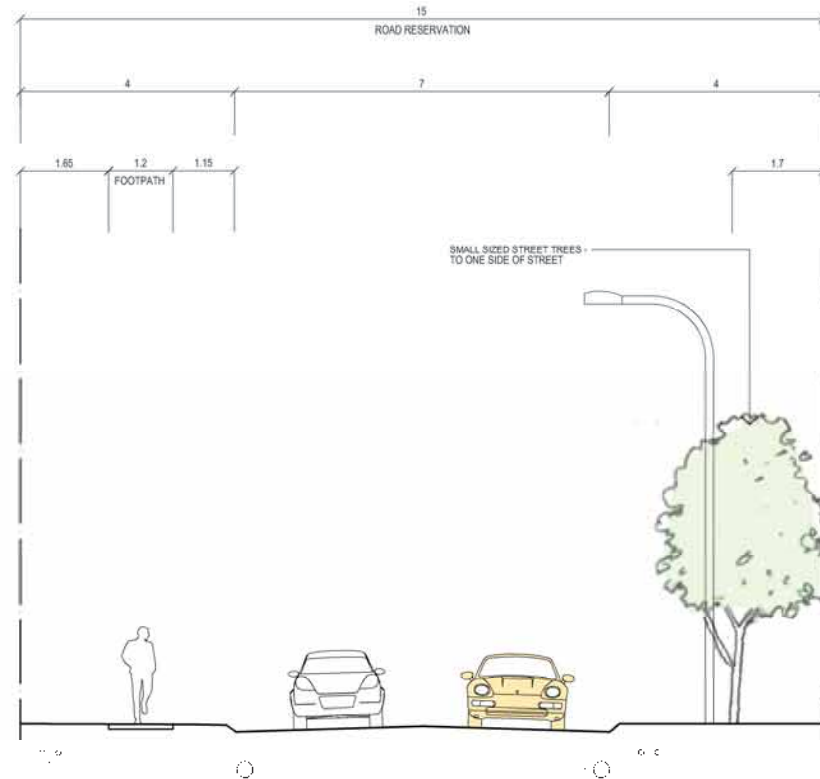
DRAWING NO.	SHEET	REVISION
5709P_Exhibits	22	A

REV.	DATE	DESCRIPTION	BY
A	20.06.2016	ISSUED FOR INFORMATION	SC

DATUM	AHD	SCALE
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PROJECT NO.	5709
DA NO.	1
DESIGNED BY:	DAT
DRAWN BY:	SC
CHECKED BY:	DAT
DATE CREATED	04.2016

DRAWING TITLE:		EXHIBIT 08C - TYPICAL ROAD SECTIONS SHEET 5			A1
PROJECT:		PROPOSED SUBDIVISION OF LOT 1 DP 1193553, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATHE			
CLIENT:	ST VINCENT'S FOUNDATION		DRAWING NO: 5709P_ Exhibits	SHEET: 23	



SECTION E
ROAD TYPE F - LOCAL ROAD

SECTION



SECTION F
ROAD TYPE F - PERMETER ROAD (SPECIAL)

SECTION

REV.	DATE	DESCRIPTION	BY
A	20.06.2016	ISSUED FOR INFORMATION	SC

DATUM	AHD	SCALE
0	1:50 @ A1 (1:100 @ A3)	

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DA NO.	1
DESIGNED BY:	DAT
DRAWN BY:	SC
CHECKED BY:	DAT
DATE CREATED	04.2016

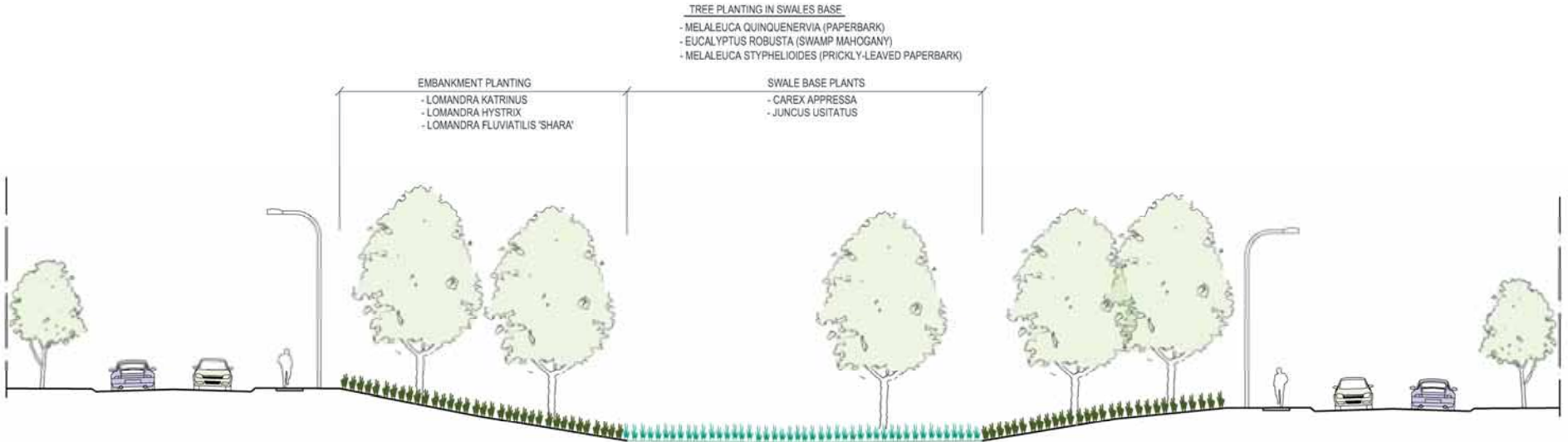
DRAWING TITLE:	EXHIBIT 08C - TYPICAL ROAD SECTIONS SHEET 6
PROJECT:	PROPOSED SUBDIVISION OF LOT 1 DP 1192953, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATHE
CLIENT:	ST VINCENT'S FOUNDATION
DRAWING NO.	5709P_Exhibits
SHEET	24
REVISION	A

SECTION

- TREE PLANTING IN SWALES BASE
- MELALEUCA QUINQUENERVIA (PAPERBARK)
 - EUCALYPTUS ROBUSTA (SWAMP MAHOGANY)
 - MELALEUCA STYPHELOIDES (PRICKLY-LEAVED PAPERBARK)

- EMBANKMENT PLANTING
- LOMANDRA KATRINUS
 - LOMANDRA HYSTRUX
 - LOMANDRA FLUVIATILIS 'SHARA'

- SWALE BASE PLANTS
- CAREX APPRESSA
 - JUNCUS USITATUS



SECTION G
DRAINAGE RESERVE

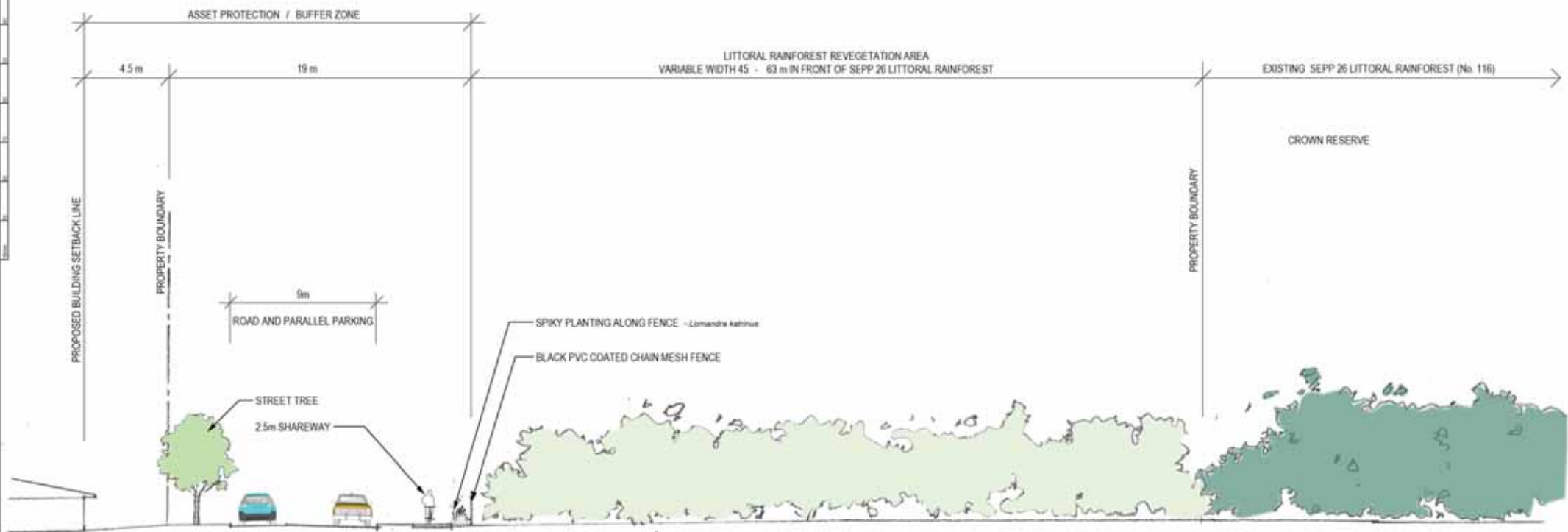
REV.	DATE	DESCRIPTION	BY
A	20.06.2016	ISSUED FOR INFORMATION	SC

DATUM: AHD
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(1:200 @ A3)

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DA NO:	1
DESIGNED BY:	DAT
DRAWN BY:	SC
CHECKED BY:	DAT
DATE CREATED:	04/2016

DRAWING TITLE:	EXHIBIT 08C - TYPICAL ROAD SECTIONS SHEET 7
PROJECT:	PROPOSED SUBDIVISION OF LOT 1 DP 1192953, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATHE
CLIENT:	ST VINCENT'S FOUNDATION
DRAWING NO:	5709P_Exhibits
SHEET:	25
REVISION:	A



SECTION H

PERIMETER ROAD & LITTORAL RAINFOREST BUFFER

KING + CAMPBELL

King & Campbell Pty Ltd
www.kingcampbell.com.au
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T: 02 6585 2555
F: 02 6583 4064
E: info@kingcampbell.com.au

REV	DATE	DESCRIPTION
A	26.08.2016	ISSUED FOR INFORMATION

DATUM: AHD SCALE: 1:250

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PROJECT NO:	5709
DRAWN BY:	DT
CHECKED BY:	JM
DATE CREATED:	04.2016

DRAWING TITLE: EXHIBIT 08C - TYPICAL ROAD SECTIONS SHEET 8

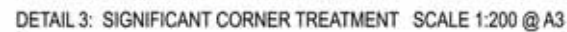
PROJECT: PROPOSED SUBDIVISION OF LOT 1 DP1193553, LOTS 1,2,3 & 4 DP1150758 AND LOT 5 DP25886, OCEAN DR LAKE CATHE

CLIENT: ST VINCENT'S FOUNDATION

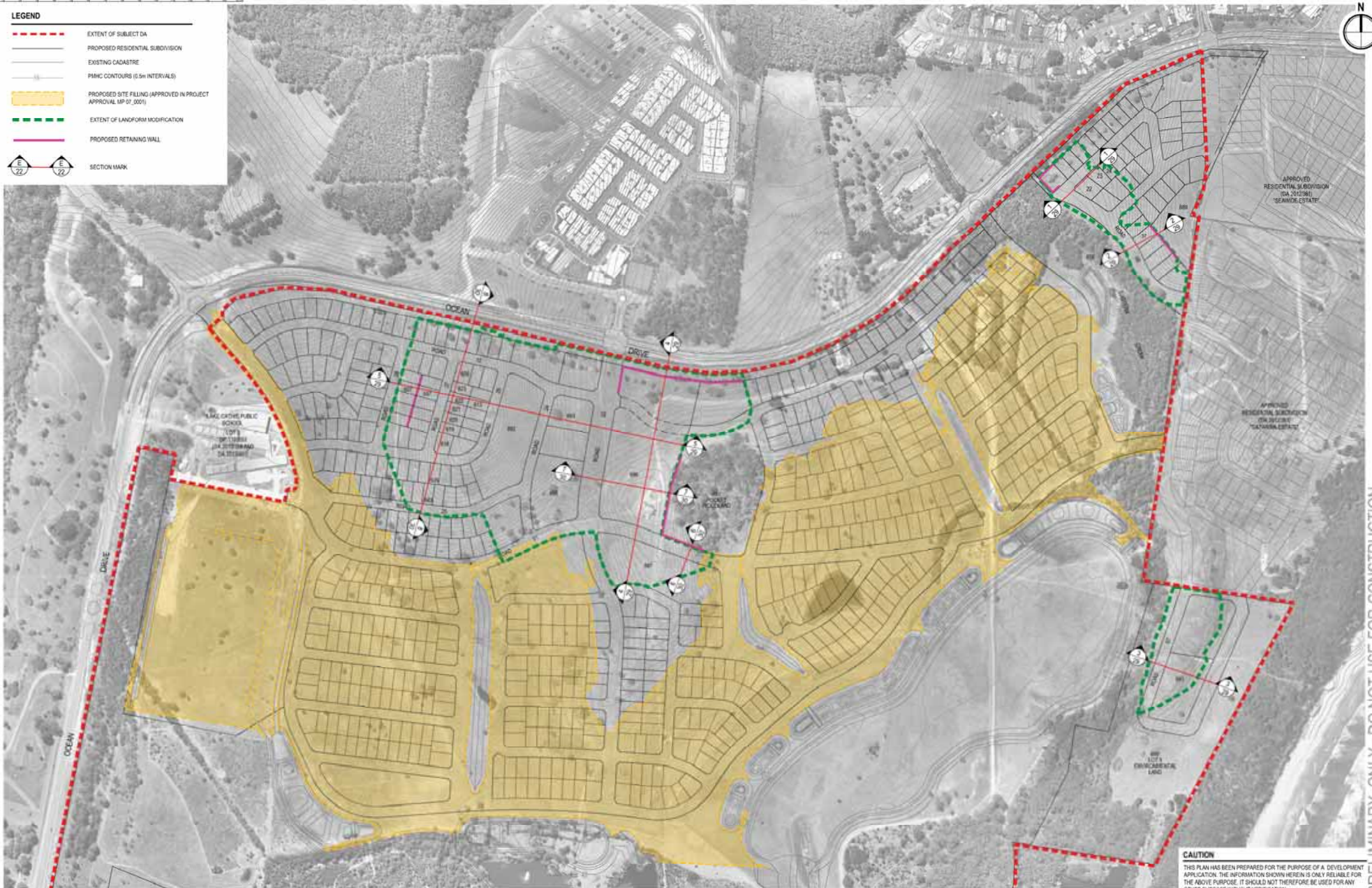
DRAWING NO:
5709P_EXHIBIT 08C

SHEET	REVISION
26	A

A3



- LEGEND**
- EXTENT OF SUBJECT DA
 - PROPOSED RESIDENTIAL SUBDIVISION
 - EXISTING CADASTRE
 - PMNC CONTOURS (0.5m INTERVALS)
 - PROPOSED SITE FILLING (APPROVED IN PROJECT APPROVAL MP 07/2001)
 - EXTENT OF LANDFORM MODIFICATION
 - PROPOSED RETAINING WALL
 - SECTION MARK



CAUTION
THIS PLAN HAS BEEN PREPARED FOR THE PURPOSE OF A DEVELOPMENT APPLICATION. THE INFORMATION SHOWN HEREIN IS ONLY RELIABLE FOR THE ABOVE PURPOSE. IT SHOULD NOT THEREFORE BE USED FOR ANY OTHER PURPOSE WITHOUT VERIFICATION.

KING + CAMPBELL

King & Campbell Pty Ltd
www.kingandcampbell.com.au
A PO Box 262 Port Macquarie NSW 2444
T: 02 6661 2903
F: 02 6661 4564
E: info@kingandcampbell.com.au

REV.	DATE	DESCRIPTION
A	20/06/2016	ISSUED FOR INFORMATION

BY
SC

DATUM: AHD
SCALE: 1:2500 @ A1
(1:5000 @ A3)

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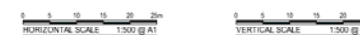
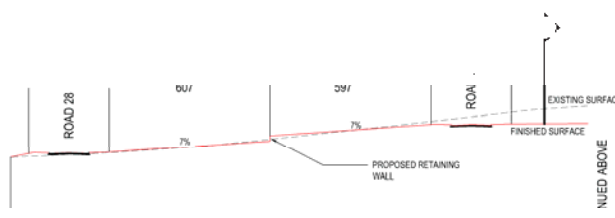
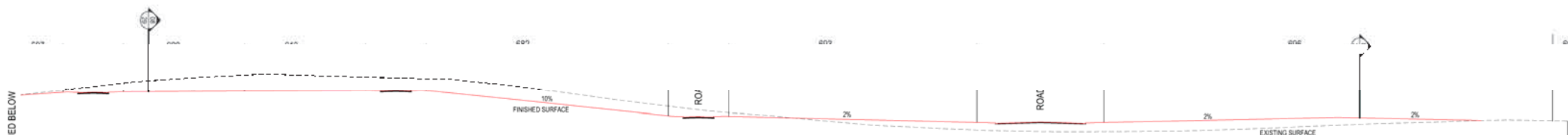
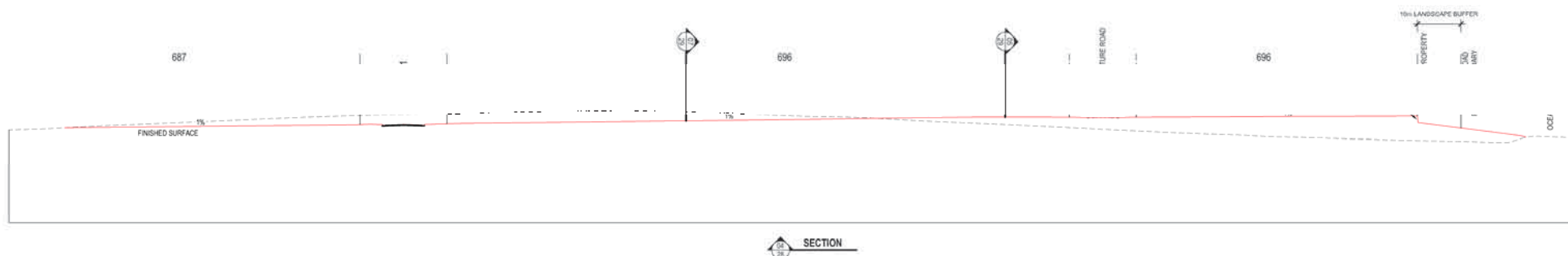
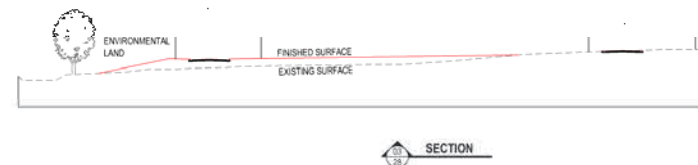
PROJECT NO.	S709
DA NO:	1
DESIGNED BY:	DAT
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DATE CREATED:	04/2016

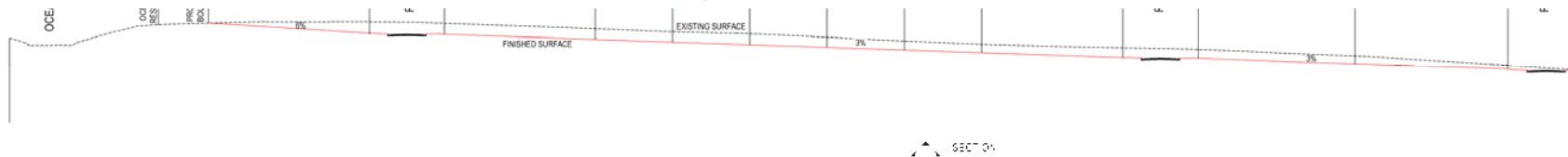
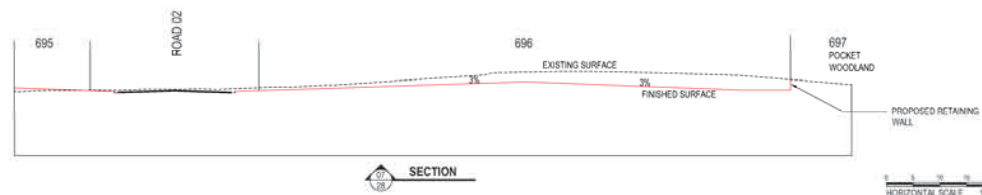
DRAWING TITLE:	EXHIBIT 09A - LANDFORM MODIFICATION
PROJECT:	PROPOSED SUBDIVISION OF LOT 1 DP 1103553, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25866, OCEAN DRIVE LAKE CATRE
CLIENT:	ST VINCENTS FOUNDATION

DRAWING NO.	SHEET	REVISION
S709P_Exhibits	28	A

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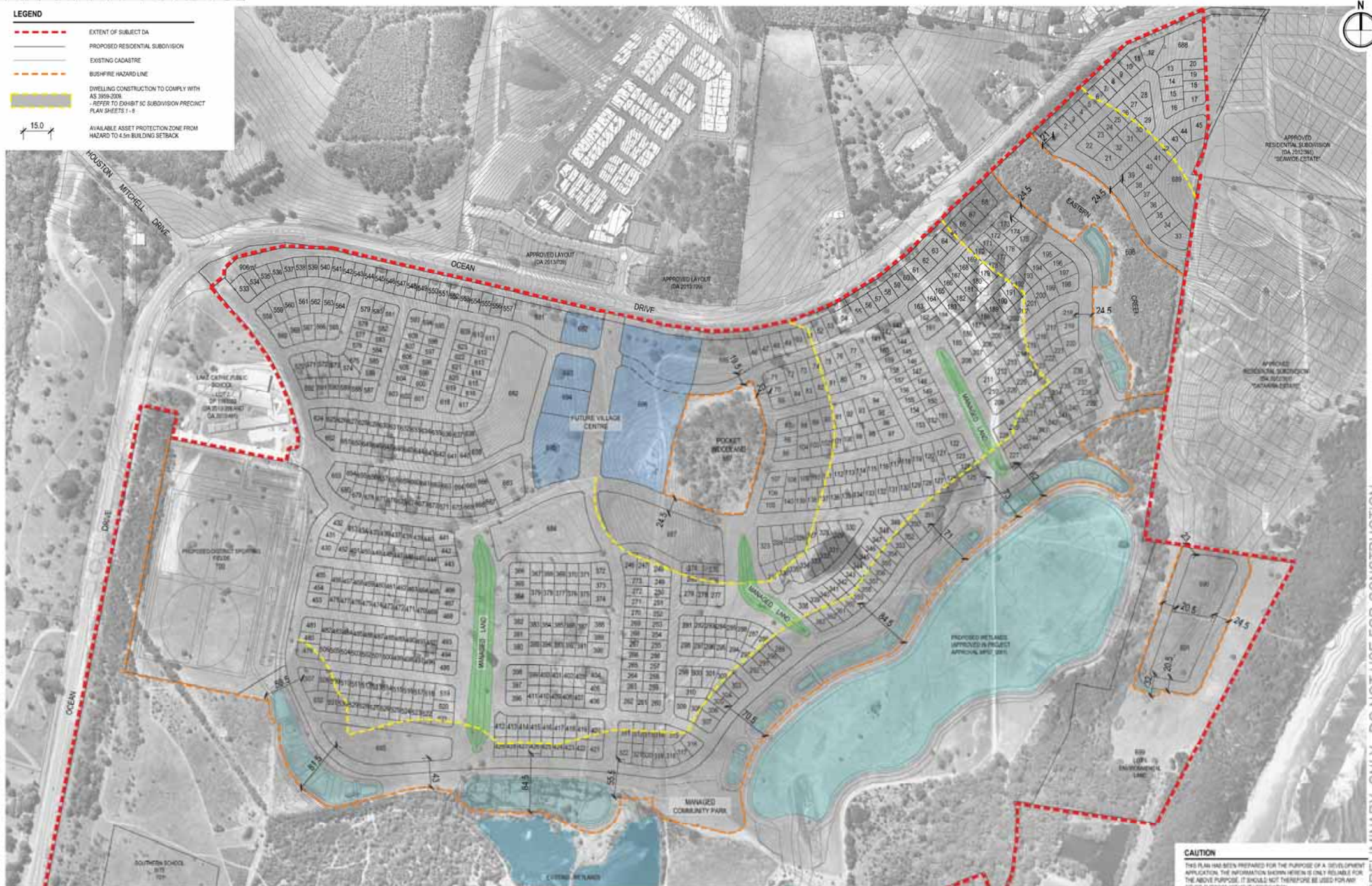
A1





- LEGEND**
- EXTENT OF SUBJECT DA
 - PROPOSED RESIDENTIAL SUBDIVISION
 - EXISTING CADASTRE
 - BUSHFIRE HAZARD LINE
 - DWELLING CONSTRUCTION TO COMPLY WITH AS 3699-2009
REFER TO EXHIBIT 5C SUBDIVISION PRECINCT PLAN SHEETS 1-8
 - AVAILABLE ASSET PROTECTION ZONE FROM HAZARD TO 4.5m BUILDING SETBACK

15.0



CAUTION

THIS PLAN HAS BEEN PREPARED FOR THE PURPOSE OF A DEVELOPMENT APPLICATION. THE INFORMATION SHOWN HEREIN IS ONLY RELIABLE FOR THE ABOVE PURPOSE. IT SHOULD NOT THEREFORE BE USED FOR ANY OTHER PURPOSE WITHOUT VERIFICATION.

KING + CAMPBELL

King & Campbell Pty Ltd
www.kingandcampbell.com.au
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T: 02 688 2000
F: 02 688 4564
E: info@kingandcampbell.com.au

REV. A DATE 20.10.2016 DESCRIPTION ISSUED FOR INFORMATION

BY SC

DATUM AHD SCALE 1:2500 @ A1 (1:5000 @ A3)
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PROJECT NO. 5709
DA NO. 1
DESIGNED BY: DAT
DRAWN BY: SC
CHECKED BY: DAT
DATE CREATED: 04.2016

DRAWING TITLE: EXHIBIT 10 - BUSHFIRE MANAGEMENT
PROJECT: PROPOSED SUBDIVISION OF LOT 1 DP 1103553, LOTS 1, 2, 3 & 4 DP 1150758 AND LOT 5 DP 25886, OCEAN DRIVE LAKE CATRIE
CLIENT: ST VINCENTS FOUNDATION

DRAWING NO. S709P_Exhibits SHEET 31 REVISION A

PRELIMINARY ONLY - DO NOT USE FOR CONSTRUCTION

A1

Developer Charges - Estimate

Applicants Name: King & Campbell Pty Ltd
Property Address: Ocean Drive, Lake Cathie
Lot & Dp: Lot(s):1, 1, 5, and 4,DP(s):1193553, 1150758, 25886, & 1150758
Development: 702 Subdivision



Note: This Notice includes contributions amounts referred to in the Rainbow Beach Central Corridor Planning Agreement and the Ocean Drive, Lake Cathie Planning Agreement. Water and Sewerage Headworks Levies are levied under S64 of the LGA Act & S306 of the Water Management Act 2000. Other contributions are levied under Section 94 of the Environmental Planning and Assessment Act and Council's S94 Contribution Plans.

Levy Area	Units	Cost	Estimate
1 Water Supply	696.8	\$9,711.00 Per ET	\$6,766,624.80
2 Sewerage Scheme Lake Cathie/Bonny Hills	694	\$3,684.00 Per ET	\$2,556,696.00
3 Since 1.7.04 - Major Roads - Regional Component	694	\$5,499.00 Per ET	\$3,887,094.00
4 Since 1.7.04 - Open Space - Lake Cathie/Bonny Hills - Per ET	694	\$6,133.00 Per ET	\$4,256,302.00
5 Commenced 3 April 2006 - Com, Cul and Em Services CP - Lake Cathie / Bonny Hills	694	\$5,016.00 Per ET	\$3,481,104.00
6 Com 1.3.07 - Administration Building - All areas	694	\$868.00 Per ET	\$602,392.00
7 Commenced 3 April 2006 - Com, Cul and Em Services CP - Bushfire	694	\$481.00 Per ET	\$333,814.00
8 Since 13.6.14 - s94 Local Roads Contributions - Area 14	694	\$7,130.20 Per ET	\$4,948,358.80
9 Rainbow Beach Central Corridor VPA - Significant Environmental Events Contributions	1	\$200,000.00	\$200,000.00
10 Sewerage Services Contribution - Ocean Drive Lake Cathie Planning Agreement	TBA	TBA	TBA
11 N/A			
12 N/A			
13 N/A			
14 N/A			
15 Admin General Levy - Applicable to Consents approved after 11/2/03	2.2% S94 Contribution		\$385,199.43
16			
17			
18			
Total Amount of Estimate (Not for Payment Purposes)			\$27,417,585.03

Not for Payment Purposes

NOTES: These contribution rates apply to new development and should be used as a guide only. Contributions will be determined in conjunction with a Development Application (DA) or Complying Development Application (CDA). DAs will be subject to the contributions plans in force at the time of issue of the Consent and for CDCs at time of lodgement. Contribution Rates are adjusted quarterly in line with the CPI.

DATE OF ESTIMATE:

12-Jan-2017

Estimate Prepared By Ben Roberts

This is an ESTIMATE ONLY - NOT for Payment Purposes

j & Campbell Pty Ltd, Ocean Drive, Lake Cathie, 12-Jan-2017.xls

Ref: RM:TD:244404
Ref: DA2016.465.1

21 July 2016

Benjamin Roberts
Development & Environment
Port Macquarie Hastings Council
PO Box 84
Port Macquarie NSW 2444

Dear Sir

Development Application Number 2016.465.1 – Notification of development proposal for 702 lot subdivision

Property: 1350 Ocean Drive Lake Cathie more particularly described as Lot 1 in DP1193553, Lot 1 in DP1150758, Lot 5 in DP25886 & Lot 4 in DP1150758

We refer to the above matter and to your correspondence seeking comment from Essential Energy in relation to the notification of the development proposal at the above property.

Strictly based on the documents submitted, Essential Energy has no objection to the development at this time, provided:

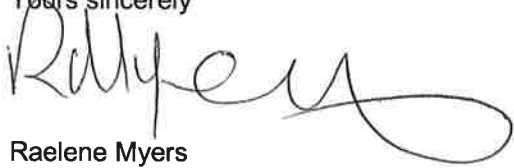
1. As part of the subdivision, easements are created for any existing electrical infrastructure. The easements are to be created using Essential Energy's standard easement terms current at the time of registration of the plan of subdivision. Currently reference should be made to Part A/B/C (as relevant) of Memorandum AG189384;
2. If the proposal changes Essential Energy would need to be informed for further comment;
3. Any existing encumbrances in favour of Essential Energy (or its predecessors) noted on the title of the above property are complied with; and
4. Council ensures that a Notification of Arrangement (confirming satisfactory arrangements have been made for the provision of power) is issued by Essential Energy with respect to all proposed lots which will form part of the subdivision, prior to Council releasing the Subdivision Certificate. It is the applicant's responsibility to make the appropriate application with Essential Energy for the supply of electricity to the subdivision, which may include the payment of fees and contributions.

In addition, Essential Energy's records indicate there is electricity infrastructure located within the boundary of the property. Any activities within the location must be undertaken in accordance with the latest industry guideline currently known as *ISSC 20 Guideline for the Management of Activities within Electricity Easements and Close to Infrastructure*.

Given there is electricity infrastructure in the area, it is the responsibility of the person/s completing any works around powerlines to understand their safety responsibilities. WorkCover NSW (www.workcover.nsw.gov.au) has publications that provide guidance when working close to electricity infrastructure. These include the *Code of Practice – Work near Overhead Power Lines/Underground Assets*.

If you have any queries, please contact Therese Daly on (02) 6588 4677 or via email
conveyancingteam@essentialenergy.com.au

Yours sincerely

A handwritten signature in black ink, appearing to read 'Raelene', with a long, sweeping horizontal stroke extending to the right.

Raelene Myers
Conveyancing Team Leader



NSW RURAL FIRE SERVICE



The General Manager
Port Macquarie – Hastings Council
PO Box 84
PORT MACQUARIE NSW 2444

Your reference: 2016/465

Our reference: D16/2167
DA16070602709 PC

Attention: Ben Roberts

22 September 2016

Dear Mr Roberts,

Proposed Development - Lot 1 DP 1193553, Lots 1 & 4 DP 1150758 and Lot 5 DP 25886, 1350 Ocean Drive, Lake Cathie & Ocean Drive, Bonny Hills

I refer to your letter dated 22 June 2016 seeking general terms of approval for the above development in accordance with section 91 of the 'Environmental Planning and Assessment Act, 1979'. It is noted that additional correspondence from Council indicates that the application is not integrated development and that Council is seeking comments and recommended conditions from the NSW RFS. As such, the following comments do not constitute general terms of approval or a bush fire safety authority under section 100B of the Rural Fires Act 1997.

The NSW RFS has reviewed the documents provided by Council and provides the following recommended conditions.

1. The development proposal is to comply with the subdivision layout identified on the drawings prepared by King & Campbell Pty Ltd titled Exhibit 05B – Subdivision Precinct Key Plan and Exhibit 05C – Subdivision Precinct Plan Sheet 1 to Sheet 6, dated 20 May 2016, except where modified by the following conditions.
2. At the issue of subdivision certificate for each stage and in perpetuity, the residential and commercial lots shall be managed as an inner protection area (IPA) as outlined within section 4.1.3 and Appendix 5 of 'Planning for Bush Fire Protection 2006' and the NSW Rural Fire Service's document 'Standards for asset protection zones'.
3. At the issue of subdivision certificate and in perpetuity, the drainage channels in Precinct H, I and J shall be managed as an inner protection area (IPA) as outlined within section 4.1.3 and Appendix 5 of 'Planning for Bush Fire Protection 2006' and the NSW Rural Fire Service's document 'Standards for asset protection zones'.

Postal address

NSW Rural Fire Service
Locked Bag 17
GRANVILLE NSW 2142

Street address

NSW Rural Fire Service
Planning & Environment Services
Suite 1, 129 West High Street
COFFS HARBOUR NSW 2450

T (02) 6691 0400
F (02) 6691 0499
www.rfs.nsw.gov.au
csc@rfs.nsw.gov.au

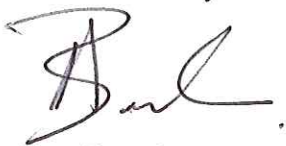
4. Public road access shall comply with section 4.1.3(1) of 'Planning for Bush Fire Protection 2006'.
5. Water, electricity and gas are to comply with section 4.1.3 of 'Planning for Bush Fire Protection 2006'.
6. Landscaping of the site is to comply with the principles of Appendix 5 of 'Planning for Bush Fire Protection 2006'.

Advice:

- Any future development application lodged within this subdivision under section 79BA of the 'Environmental Planning & Assessment Act 1979' will be subject to requirements as set out in 'Planning for Bush Fire Protection 2006'.
- Section 100B of the Rural Fires Act 1997 requires a bush fire safety authority to be obtained for the subdivision of bush fire prone land that could lawfully be used for residential purposes.

For any queries regarding this correspondence please contact Paul Creenaune on 6691 0400.

Yours Sincerely



Alan Bawden
Team Leader - Development Assessment & Planning
Planning & Environment Services (North)

The RFS has made getting information easier. For general information on 'Planning for Bush Fire Protection, 2006', visit the RFS web page at www.rfs.nsw.gov.au and search under 'Planning for Bush Fire Protection, 2006'.

File No: NTH06/00894/08
Your Ref: 2016.465.1

The General Manager
Port Macquarie Hastings Council
PO Box 84
PORT MACQUARRIE NSW 2444

Attention: Ben Roberts – Development Assessment Planner

Dear Sir / Madam,

**Ocean Drive [MR600] - DA2016/465 Proposed 702 Lot Subdivision – Area 14 Urban Release
Lot 1 DP1193553, Lots 1 & 4 DP1150758 and Lot 5 DP25886 – 1350 Ocean Drive, Lake Cathie**

I refer to your letter of 22 June 2016 requesting comment from Roads and Maritime Services in relation to the abovementioned development application.

Roles and Responsibilities

The key interests for Roads and Maritime are the safety and efficiency of the road network, traffic management, the integrity of infrastructure assets and the integration of land use and transport.

Ocean Drive (MR600) is a classified (Regional) road. Port Macquarie Hastings Council is the Roads Authority for this road and all other public roads in the subject area in accordance with Section 7 of the *Roads Act 1993*. Roads and Maritime's consent is required for the installation of Traffic Control Signals (TCS) on any road under Section 87 of the *Roads Act 1993*.

Roads and Maritime Response

Roads and Maritime has reviewed the development application and provides the following comments to assist the consent authority in making a determination;

1. The Traffic Impact and Access Management Assessment (TIA) relies upon traffic count surveys undertaken to inform traffic modelling in 2009. No surveys of current traffic flows on Ocean Drive have been undertaken to validate the assessment.
2. The inclusion of suitable consent conditions to ensure the timely delivery of intersection upgrades required to accommodate staged development is supported. This will provide consistency for developers and maintain the safety and efficiency of Ocean Drive.
3. Following completion of the forthcoming Port Macquarie-Hastings LGA wide Traffic Study Council may wish to update the intersection treatments identified for the corridor and any associated Section 94 Contributions Plans.
4. Future works on Ocean Drive should be designed and constructed in accordance with the current Austroads Guidelines, Australian Standards and RMS Supplements.

5. The supporting TIA highlights that a significant number of intra-regional trips are likely to be attracted to the Pacific Highway via Houston Mitchell Drive. It is suggested that the forthcoming Port Macquarie Hastings LGA wide Traffic Study investigate future demand on the Houston Mitchell Drive and Pacific Highway intersection to ensure that the ongoing development in the Area 14 release area will not impact adversely on the safety and efficiency of the Pacific Highway.
6. Prior to the installation of Traffic Control Signals (TCS) on Ocean Drive the developer will be required to enter into a 'Works Authorisation Deed' (WAD) with Roads and Maritime. All works under the WAD are to be completed to the satisfaction of Roads and Maritime and the developer will be responsible for all costs associated with installation and administration of the WAD process.

It is recommended that developers familiarise themselves with the requirements of the WAD process and contact our office to obtain further advice where necessary. Further information on undertaking private developments adjacent to classified roads can be accessed at:

<http://www.rms.nsw.gov.au/projects/planning-principles/index.html>

Advice to the Consent Authority

Council is reminded that the temporary access from Ocean Drive to Lake Cathie Public School is to be physically and legally closed when the subdivision access road to Precinct A is constructed. Council should facilitate this safety improvement and it is suggested that a consent condition be included to require the developer to provide the new connection from Precinct A access road to the school prior to release of the subdivision certificate for Precinct A.

Upon determination of the application, it would be appreciated if Council could forward a copy of the Notice of Determination for our records. If you have any further enquiries regarding the above comments please do not hesitate to contact Liz Smith, Manager Land Use Assessment on (02) 6640 1362 or via email at: development.northern@rms.nsw.gov.au

Yours faithfully



3 August 2016

for Monica Sirol
Network & Safety Manager, Northern Region